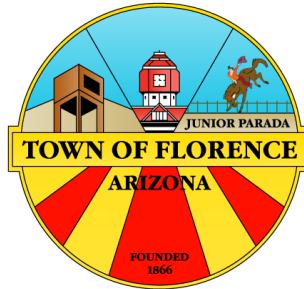


TOWN OF FLORENCE PLANNING AND ZONING REGULAR MEETING AGENDA

Chairman Gary Pranzo
Vice-Chairman Larry Putrick
Commissioner Carl Bell



Florence Town Hall
775 N. Main Street
Florence, AZ 85132
(520) 868-7500
www.florenceaz.gov
Meet 1st and 3rd Thursday

December 15, 2016

6:00 PM

Pursuant to A.R.S. § 38-431.02, notice is hereby given to the Town of Florence Planning and Zoning Commission and to the general public that the Regular Meeting of the Florence Planning and Zoning Commission to be held on Thursday, December 15, 2016, at 6:00 p.m., in the Florence Town Council Chambers, located at 775 North Main Street, Florence, Arizona.

- 1. CALL TO ORDER**
- 2. ROLL CALL:** Pranzo____, Putrick__ and Bell_____.
- 3. PLEDGE OF ALLEGIANCE**
- 4. DISCUSSION/APPROVAL/DISAPPROVAL** of the minutes of the regular meetings conducted on September 15, 2016 and October 20, 2016.
- 5. NEW BUSINESS**
 - A. Anthem at Merrill Ranch Preliminary Plat Application (PZ-16-63) for Unit 52.**

PRESENTATION/APPROVAL/DISAPPROVAL of Preliminary Plat application for Anthem at Merrill Ranch Unit 52 submitted by Pulte Group, Inc.
 - B. Anthem at Merrill Ranch Preliminary Plat Application (PZ-16-61) for Unit 56A.**

PRESENTATION/APPROVAL/DISAPPROVAL of Preliminary Plat application for Anthem at Merrill Ranch Unit 56A submitted by Pulte Group, Inc.

C. Anthem at Merrill Ranch Community Dog Park (PZ-16-69 DR).

PRESENTATION/APPROVAL/DISAPPROVAL of a Design Review application from Pulte Homes for a Dog Park to be located within the Community Park in Anthem at Merrill Ranch (AMR).

D. Pulte Home Plans for Anthem at Merrill Ranch (PZ-16-70 DR).

PRESENTATION/APPROVAL/DISAPPROVAL of a Design Review application by Pulte Homes for two new home plans and modifications to eight existing home plans proposed within the Sun City area of the Anthem at Merrill Ranch Community.

6. CALL TO THE PUBLIC/COMMISSION RESPONSE

Call to the Public for public comment on issues within the jurisdiction of the Planning and Zoning Commission. Individual Commission members may respond to criticisms made, may ask staff to review a matter raised or may ask that a matter be put on a future agenda. However, members of the Commission shall not discuss or take action on any matter during an open call to the public unless the matters are properly noticed for discussion and legal action.

7. STAFF REPORT

A. Community Development Department Update

8. CALL TO THE COMMISSION- CURRENT EVENTS ONLY

9. ADJOURNMENT

POSTED ON DECEMBER 9, 2016 BY MARIA HERNANDEZ, DEPUTY TOWN CLERK, AT 775 NORTH MAIN STREET, FLORENCE, ARIZONA, AND AT WWW.FLORENCEAZ.GOV.

***** PURSUANT TO TITLE II OF THE AMERICANS WITH DISABILITIES ACT (ADA), THE TOWN OF FLORENCE DOES NOT DISCRIMINATE ON THE BASIS OF DISABILITY REGARDING ADMISSION TO PUBLIC MEETINGS. PERSONS WITH A DISABILITY MAY REQUEST REASONABLE ACCOMMODATIONS BY CONTACTING TOWN OF FLORENCE ADA COORDINATOR, AT (520) 868-7574 OR (520) 868-7502 TDD. REQUESTS SHOULD BE MADE AS EARLY AS POSSIBLE TO ALLOW TIME TO ARRANGE THE ACCOMMODATION. *****

**TOWN OF FLORENCE
PLANNING AND ZONING COMMISSION
REGULAR MEETING MINUTES**

REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION OF THE TOWN OF FLORENCE HELD THURSDAY, SEPTEMBER 15, 2016 AT 6:00 PM, IN THE CHAMBERS OF TOWN HALL, LOCATED AT 775 N. MAIN STREET, FLORENCE, ARIZONA.

CALL TO ORDER

Chairman Pranzo called the meeting to order at 6:00 pm.

ROLL CALL

Present: Chairman Pranzo, Vice-Chairman Putrick and Commissioner Bell.

PLEDGE OF ALLEGIANCE

Chairman Pranzo led the Pledge of Allegiance

DISCUSSION/APPROVAL/DISAPPROVAL of meeting minutes of the regular meeting conducted on July 7, 2016.

On motion of Vice-Chairman Putrick, seconded by Commissioner Bell, and carried to approve the minutes of the regular meeting conducted on July 7, 2016 with one correction.

NEW BUSINESS

PRESENTATION/APPROVAL/DISAPPROVAL of a Preliminary Plat application for Anthem at Merrill Ranch Unit 38 (PZ-16-54 PP) submitted by Pulte Group, Inc.

Gilbert Olgin, Senior Planner stated Pulte Group, Inc. is well known for its AMR master planned community located within the Town of Florence, Pulte Group, Inc. wants to bring the subject area through the platting and engineering process so there is adequate lot inventory to support emerging homebuilding activities in this area. This area will be part of the Sun City at AMR community and Pulte Homes will continue to be the homebuilder within this unit.

ANALYSIS:

Continual development of the AMR community will enhance the overall area, the Hunt Highway corridor and will help encourage development throughout the Town. This unit within the AMR Planned Unit Development (PUD) will be consistent with what has been previously been approved within the Sun City portion of the community.

The AMR PUD document, amended April 2008, designated areas for residential development within the entire master planned development. The residential lots contributed from AMR 38 will not increase the maximum overall allowed density of 3.5 dwelling units per gross acre stated on page 10 of the AMR PUD.

AMR Unit 38 includes 75 single-family residential lots with three points of ingress/egress into the subdivision. Vehicular access points begin with the Spirit Way collector onto Valor Way, and from two adjacent neighborhood streets; Patriot Way from existing AMR Unit 40 to the south and Daisy Drive from AMR Unit 34 proposed to the north. The minimum lot area proposed is 6071 sq. ft and the maximum lot area proposed is 17,941 sq. ft. The average lot size planned is 7,519 sq. ft. with a proposed density of 3.2 dwelling units per acre. A wash is located on the southwestern portion of this preliminary plat and runs from northwest to southeast, which is also included as open space for the community trail system.

Town of Florence Public Works and Fire Department staff have reviewed the AMR 38 Pre-Plat and are satisfied with this preliminary plat advancing. Final comments from these departments will be addressed on the civil plans and final plat for this unit.

CIRCULATION

Neighborhood streets in AMR 38 are designed and constructed with a 40 ft. wide right-of-way, which is consistent with the AMR PUD zoning. The Town Engineer has reviewed street widths and designs. AMR 38 is connected to surrounding subdivisions using neighborhood streets and Spirit Loop Road serves as a major collector to the site.

OPEN SPACE

Each unit meets and or exceeds the 15% open space required per the AMR PUD. In addition, the community amenities include community parks, Poston Butte golf course, trails and greenbelts, desert washes and landscape buffers in and around the community. In addition to the community centers and recreation buildings, 29% of the community is dedicated to open space or additional recreation amenities for community members.

STAFF FINDING:

- The proposed preliminary plat is in conformance with the AMR PUD and Town Code requirements.
- Three points of vehicular access are proposed.
- AMR Unit 38 meets the density and open space requirements of the AMR PUD.

STAFF RECOMMENDATION:

Staff recommended that the Planning and Zoning Commission approve this Preliminary Plat, subject to the following conditions of approval.

1. Development of subdivision shall comply with all applicable Town codes, including all applicable planning, building, and fire and engineering requirements.
2. Developer/Property owner is responsible for all applicable street dedications and improvements at the time the subdivision is developed, except as otherwise approved by the Town of Florence.
3. The Fire and Public Works departments retain the right to address additional development details for this subdivision, such as, but not limited to, easements, dedications, storm water and drainage improvements, ADA compliance, and fire hydrant placements during the reviews of the civil plans and final plats for the subject unit.

On motion of Chairman Pranzo, seconded by Vice-Chairman Putrick, and carried to approve the Anthem at Merrill Ranch, Unit 38 (PZ-16-54 PP) Preliminary Plat application submitted by Pulte Group, Inc.

Chairman Pranzo had a question for Randy Christman representing Pulte Group, which he answered sufficiently. Mr. Pranzo asked if Randy had reviewed the staff recommendations with the staff report. Randy Christman, representing Pulte Group, Inc. stated he was in agreement with the conditions proposed by staff.

Chairman Pranzo had a question for Town staff if all the Town departments had reviewed and signed off for the Pre-Plat. Gilbert Olgin, Senior Planner stated all departments had reviewed and signed off on the application.

CALL TO THE PUBLIC/COMMISSION RESPONSE

Call to the Public for public comment on issues within the jurisdiction of the Planning and Zoning Commission. Individual Commission members may respond to criticisms made, may ask staff to review a matter raised or may ask that a matter be put on a future agenda. However, members of the Commission shall not discuss or take action on any matter during an open call to the public unless the matters are properly noticed for discussion and legal action.

Gilbert Olgin addressed the Commission as a member of the public. Mr. Olgin explained the Town of Florence received an award from the Arizona American Planning Association regarding a historic property known as the "Ruiz" residence within the Town of Florence Historic District. He noted the project was very rewarding to the individual but also beneficial to the Town because of rehabilitating a property along a corridor into the Downtown.

CALL TO THE COMMISSION- CURRENT EVENTS ONLY

Vice-Chairman Putrick explained a proposed project within Pinal County was approved for a land use entitlement near Casa Grande where a company by the name of Attesa will provide an Arizona motor sports park. This will include race tracks and other associated uses with motorized sports, and the project will be in operation by early 2020 and may bring in over 2000 jobs into Pinal County.

ADJOURNMENT

On motion of Vice-Chairman Putrick, seconded by Commissioner Bell, and carried to adjourn the meeting at 6:17 pm.

X _____
Gary Pranzo

Date

**TOWN OF FLORENCE
PLANNING AND ZONING COMMISSION
REGULAR MEETING MINUTES**

REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION OF THE TOWN OF FLORENCE HELD THURSDAY, OCTOBER 20, 2016 AT 6:00 PM, IN THE CHAMBERS OF TOWN HALL, LOCATED AT 775 N. MAIN STREET, FLORENCE, ARIZONA.

CALL TO ORDER

Chairman Pranzo called the meeting to order at 6:00 pm.

ROLL CALL

Present: Chairman Pranzo, Vice-Chairman Putrick and Commissioner Bell.

PLEDGE OF ALLEGIANCE

Chairman Pranzo led the Pledge of Allegiance

NEW BUSINESS

PRESENTATION/DISCUSSION/RECOMMENDATION of a request by the Land Development Consultants, Inc. on behalf of J & B Trucking Inc. to utilize the Town Core Infill Incentive Plan (TCIIP) to approve limited deviations from development standards on commercial property located at 255 South Main Street, southeast corner of East Brady Street and South Main Street.

Gilbert Olgin, Senior Planner stated Circle K Stores Inc. ("Circle K") currently has two convenience stores in Florence. These stores are within close proximity of each other, the larger of the two stores is located at 20 West South Main Street and the smaller site is located at 105 South Main Street. Both stores include fueling stations.

In an effort to remain competitive with more modern convenience stores throughout the Arizona region, the applicant proposed a new Circle K development that includes the construction of a 5,881 sq. ft. store with eight gasoline dispensing pumps. The proposed project would be located on a currently developed, but abandoned, commercial lot on the southeast corner of Main Street and Brady Street. Circle K plans on closing the two existing stores if this new location is approved.

This subject site was once home to the Foxworth-Galbraith Truss Company. After the slowdown of the housing market, the business struggled to recover from the Great Recession that followed. Different commercial uses have occupied the building in the years that followed, but currently, the building is unoccupied.

In order to develop the site in a manner that is functional and still compatible with the historic buildings along Main Street, Circle K requested minor development deviations per the Town Core Infill Incentive Plan (TCIIP) request.

PROJECT DATA:

Parcel Number(s): 202-03-0580
 Gross Acreage: 1.24 acres
 Existing Use: Vacant building
 Proposed Use: General Retail
 Zoning: Highway Business Comm. (B-2) Zoning District
 Building Area: 5,881 sq. ft.
 Building Height: 23 ft. – 8 in
 Parking Required: 20 stalls, 1 ADA Van Accessible stall
 Parking Provided: 24 stalls, 1 ADA Van Accessible stall

ANALYSIS:

Specific deviations are related to building setbacks, landscaping, screen walls and signage.

BUILDING SETBACKS:

Building Setbacks:		<u>Required</u>	<u>Provided</u>
Front	(Collingwood St)	25 ft	25 ft
Street Side	(S. Elizabeth St)	20 ft	20 ft
Side	(SR 79)	20 ft	20 ft
Rear	(E. Brady St)	10 ft	5 ft

The above table demonstrates that this project meets or exceeds the required setbacks of 25 feet on the front and 20 feet on the interior sides, but approval of this TCIIP request is necessary for the rear setback deviation.

Infill development, particularly on the edge of a developed historic district, can present some site development challenges. This is why, in part, the Town has this Infill tool, as well as special Zoning Districts to enhance development opportunities in the Town’s core. Developing on this site was made a bit more challenging due to Circle K needing to maintain a minimum 300 foot separation from the nearby church per the requirements of their existing Liquor License for the site. After several site plan and elevation reiterations, staff believed that the building orientation, reduced setback and 4-sided architectural elevations are acceptable. In fact, reduced setbacks are typically welcomed along our Main Street.

SCREEN WALLS:

Currently, the site is wrapped by a six foot high chain link fence that includes additional security features in some locations. Fortunately, this project will remove all of the existing nonconforming and unattractive fencing. Though the Town Code requires a six foot wall between any new commercial development and existing residential development, Circle K has proposed to reduce this to a 3 foot high masonry wall. In addition, the building's north elevation essentially serves as the project's north wall.

Again, we look at the challenges of applying codes for new development to Infill development and the results of such. In this case, staff contends that the shorter wall is far more superior from an aesthetic perspective and maintaining the openness of a commercial site also has its own advantages for security, neighborhood access, etc. Landscaping will also be used to supplement the screening on the east side of the property.

LANDSCAPING:

The site will have attractive desert landscaping, but there will be an inherent reduction in overall landscaping due to the Infill nature of this project and the reduced rear building setback. The south side of the project actually borders some additional off-site improvements, including a water station, car wash and small office. This situation, as it is today, makes landscaping along this frontage a challenge. If Circle K is able to acquire these parcels and expand the project, staff will expect to see an amended site plan that adds back landscaping along this side of the project. Overall, the site design, attractive elevations and reduced landscaping work well for this site.

SIGNAGE:

The applicant is proposing a modern double-sided monument sign. The bottom of the proposed sign will feature stone brick veneer to match the rest of the building, with four more components. Two of the mid-section panels will be digital format to be utilized for the fuel prices; the last component of the sign will feature the Circle K brand logo.

The sign will reach the height of 15 feet and the possible sign area could exceed 40 square feet. As such, this monument sign deviation is also addressed in the applicant's TCIP request.

Though the current sign standard in this situation is an eight foot tall sign with 32 square feet of sign area, staff notes that there is an existing nonconforming sign on the site that is approximately 15 feet in height. Circle K has indicated their willingness to remove the existing unattractive pole sign and replace it with a much more aesthetically pleasing and modern monument sign. Additionally, Circle K has indicated their intent to remove the old pole signs at their existing stores downtown upon them ceasing operations.

STAFF FINDINGS:

Staff presents the following findings for the consideration of the Planning and Zoning Commission and Town Council:

1. The Town Core Infill Incentive Plan was lawfully adopted and the District was created under the rules and guidelines established by the State of Arizona.
2. This project is consistent with the Goals and Objectives of the Town Core Infill Incentive Plan, specifically by encouraging new and complementary commercial development within the Town's core.
3. The subject parcel is within the Infill Incentive District and the conditions and circumstances applicable to these parcels support this request.
4. The development of the subject site will eliminate existing blight and nonconforming development conditions on the subject parcel.
5. Approval of this TCIP request will allow for the beneficial investment of funds into the subject property and the Town core.
6. Development of the site will enhance property values for the site, which produces a positive fiscal impact for the Town, Pinal County, Florence Unified School District and others.

PUBLIC PARTICIPATION:

Public hearings are not required for this case, but this case has been placed on the agendas for the Planning and Zoning Commission and Town Council and said agendas have been lawfully posted.

No written or verbal opposition have been submitted on this case.

The schedule for Planning and Zoning and Town Council meetings for this case are as follows:

- | | |
|------------------|---|
| October 20, 2016 | Planning and Zoning Commission (recommendation) |
| November 7, 2016 | Town Council (action) |

All meetings will be held at Town Hall Council Chambers – 775 North Main Street.

STAFF RECOMMENDATION:

By acting on this case, the Planning and Zoning Commission thereby accepted staff's findings made on this request. Based on the findings established for this case, staff recommended that the Planning and Zoning Commission send the Town Council a favorable recommendation for this case, subject to the following conditions:

1. Approval of this request is contingent upon a companion Design Review application, and all the terms of such application approval, for the new Circle K on the subject site.

2. Approval of this request shall be rescinded if Circle K, or their applicable assignees, does not enter into a Development Agreement with the Town, which is a requirement of the project's Design Review approval.
3. Construction, except as approved by this request, shall comply with all applicable Town codes, including all applicable building, fire and engineering codes.

On motion of Vice-Chairman Putrick, seconded by commissioner Bell, and carried to recommend the Circle K Convenience Store Infill Incentive Plan Application (PZ-16-56 INF) to Town Council, submitted by Circle K Stores, Inc.

Vice-Chairman Putrick stated he was in support of consolidating two separate convenience stores into one new store, but not in support of building a new Circle K store and having two vacant buildings or three Circle K convenience stores in the Town of Florence.

Chairman Pranzo stated his use of the Infill Incentive Plan to evaluate and interpret this application. Pranzo stated his concern of having two vacant buildings with the opening of a new Circle K convenience store based on the overall goals the Town Core Infill Incentive Plan.

Michael Scarbrough with Circle K Stores, Inc. stated Circle K has no control of what may happen to those buildings since they are owned by two separate landowners, but has plans on finding a new tenant for the new Circle K convenience store east of Main Street. The old Circle K convenience store at Main and Butte is under discussion with the property owner to possibly acquire the property and have a new tenant or another option that would be to acquire the land, demolish the building and work with the Town to redevelop the parcel. The applicant reiterates that they are confident one of the two options for handling the Main and Butte property will come to fruition.

Chairman Pranzo stated he would like to add conditions to the project regarding the two previous Circle K convenience stores and how they would be affected by this project.

Michael Scarbrough reiterated Circle K, Inc. would be performing infill on what is currently a vacant lot/building and will be infilling this lot with a new building. Scarbrough also stated the development of this new Circle K convenience store is un-related to what may occur at the two previous Circle K convenience store locations. He then concluded Circle K has had success with leasing/selling buildings in the past and is confident they can find new tenants.

Council liaison, Bill Hawkins, stated the two previous Circle K properties should not be related to the Circle K Infill Incentive application, Chairmen Pranzo reiterated he views the application differently from the Town's perspective and not just the Circle K site.

Vice-Chairmen Putrick stated his concern of how the two old Circle K buildings should be prevented from becoming two more gas convenience stores.

Michael Scarbrough stated they will be removing the previous fuel operations, including pumps and underground tanks. The likelihood of a new business coming in to operate new gas pumps is very slim. Circle K, Inc. doesn't foresee any other corporations or "mom and pop" competitors using the old commercial sites because of the conditions and constraints of the old buildings and sites.

Gary Pranzo concluded he liked the new Circle K project itself and is just wanted to make sure he is implementing the Town Core Infill Incentive plan properly.

Michael Scarbrough then stated Circle K, Inc. is looking at acquiring the two adjacent properties to the south and will actually be infilling more properties then allowing more properties to go vacant.

PRESENTATION/APPROVAL/DISAPPROVAL of a Design Review application for a proposed Circle K Convenience Store located at 255 South Main Street, southeast corner of East Brady Street and South Main Street.

Gilbert Olgin, Senior Planner, stated Circle K Stores Inc. ("Circle K") currently has two convenience stores in Florence. These stores are within close proximity of each other, the larger of the two stores is located at 20 West South Main Street and the smaller site is located at 105 South Main Street. Both stores include fueling stations.

In an effort to remain competitive with more modern convenience stores throughout the Arizona region, the applicant proposed a new Circle K development that includes the construction of a 5,881 sq. ft. store with eight gasoline dispensing pumps. This proposed project would be located on a currently developed, but abandoned, commercial lot on the southeast corner of Main Street and Brady Street. Circle K plans on closing the two existing stores if this new location is approved.

This subject site was once home to the Foxworth-Galbraith Truss company. After the slowdown of the housing market, the business struggled to recover from the Great Recession that followed. Different commercial uses have occupied the building in the years that followed, but currently, the building is unoccupied.

In addition to this application and in order to develop the site in a manner that is functional and still compatible with the historic buildings along Main Street, Circle K is requesting minor development deviations per a companion Town Core Infill Incentive Plan (TCIIP) request.

PROJECT DATA:

Parcel Number(s):	202-03-0580
Gross Acreage:	1.24 acres
Existing Use:	Vacant building
Proposed Use:	General Retail
Zoning:	Highway Business Comm. (B-2) Zoning District
Building Area:	5,881 sq. ft.

Building Height: 23 ft. – 8 in
 Parking Required: 20 stalls, 1 ADA Van Accessible stall
 Parking Provided: 24 stalls, 1 ADA Van Accessible stall

Building Setbacks:		<u>Required</u>	<u>Provided</u>
Front	(E.Collingwood St)	25 ft	25 ft
Street Side	(S. Elizabeth St)	20 ft	20 ft
Side	(SR 79)	20 ft	20 ft
Rear	(E. Brady St)	10 ft	5 ft

This project meets or exceeds the required setbacks of 25 ft. on the front and 20 ft. on the interior sides, but approval of the companion TCIP request is necessary for the rear setback deviation, as well as reductions with landscape buffers.

ANALYSIS:

The Design Review application is provided to review the site design and aesthetics of the proposed convenience store facility. The application is broken down into five main components:

- Building Elevations
- Access/Parking
- Landscaping
- Grading and Drainage
- Signage

BUILDING ELEVATIONS:

Circle K was cooperative in meeting with Town staff in creating a convenience store building with facades compatible with the Town of Florence architectural styles. The building and fuel station canopy uses elements of Transformed Sonoran and Transitional (Territorial) architectural styles, including red brick similar to many historic buildings in Florence. Additionally, the proposed structures have linear proportions similar to neo-classical commercial buildings found within the Historic District built in the early 20th century. Earth tone colors are prevalent on the front faces of the building, including tan on the flat acrylic stucco portions of the building and patina green on the metal awnings on all four sides of the building. The applicant proposed a “smoked” glass for the south side viewing windows and doors and stated ornamental “gooseneck” type light fixtures will exist on all four sides of the building.

Staff noted that the particular orientation of the building (perpendicular to Main Street) is largely due to the need to keep a minimum distance from the church to the south in order for this establishment to maintain the liquor license issued for this site.

ACCESS:

This site will contain three vehicular access points that will provide ingress and egress for vehicular traffic including emergency services. Two 40 ft. wide access points will occur along Main Street for primary access. There will also be cross-access to the properties to the south and an additional driveway on Elizabeth Street. A traffic impact analysis (TIA) has been submitted by the applicant for review by ADOT and the Town Engineer.

Section 150.163 of the Land Use Development Code requires one parking stall per 300 sq. ft. floor area. Parking on the site will meet minimum code requirements, totaling 24 stalls and one accessible parking space, which is provided in front of the store per the ADA requirements (1 ADA space per 1- 25 total parking spaces). All regular parking spaces will be situated in the front with five additional overflow spaces that will exist near the canopy, fueling pump stations. The convenience store will total 5,881 sq. ft. and off-site loading is provided, but not required per Section 150.164 of the Land Use Development Code. Facilities with 15,000 square feet or more require off-street truck loading or unloading berths.

Staff requests the site plan show the appropriate location of parking bollards, bike parking, and crosswalks from the fuel pumping canopy to the convenience store.

GRADING AND DRAINAGE:

The proposed project will provide up to the 100 year one hour event (underground retention) per a single eight ft. diameter pipe on the southwest corner of the site. All other grading and drainage requirements must be determined by the Town Engineer.

LANDSCAPE/SCREENING:

The landscape design is considerate of surrounding residential properties. Circle K proposed to buffer any visual/noise disturbances from the site by providing landscape buffers and screen walls around nuisances to alleviate any affects to the surrounding property owners. For screening purposes, the applicant proposed to place 3-ft screen walls along the north side and east side of the building. The applicant has decided to exhibit the projects boundaries while having a welcoming feel to the surrounding neighborhoods to the north and east. The applicant's TCIP request also addresses a minor deviation in the standards for screen walls.

Desert type landscaping will occur along Main Street, on the west side, north side and east side of the building to buffer against surrounding residential uses. A conceptual plant palette has been provided by the applicant and landscaping is encouraged to consist of low water use trees and shrubs. Low water use plants are encouraged for use as stated in Section 150.134 of the Land Use Development Code. All other landscaping within the site shall adhere to Part 4 of the Landscape Standard Sections 150.131 thru 150.145 within the Land Use Development Code.

The applicant shall adhere to Part 2 of the Land Use Development Code Sections 150.083 thru 150.091 for outdoor lighting control. LED lighting is proposed for use on-site. All lighting used for the external illumination of buildings, parking and outdoor uses shall be directed down and

away from adjacent properties and shall be designed to minimize glare. Outdoor lighting fixtures shall be arranged and shielded so that lightning shall not shine or reflect directly onto adjacent residential property. Compliance with local light control and dark sky regulations is required.

SIGNAGE:

Main Building Wall Signs

The Circle K wall sign above the building front entrance will have approximate dimensions of 13 ft by 5 ft. This falls within the requirements of Section 150.107 of the Land Use Development Code Notes 1 – 4 for wall signage. Brand logos will also be placed on the southwest and northwest corners of the building visible to traffic along Main Street. These wall logo signs dimensions also fall within the wall signage code requirements. Signs are not more than 200 sq.ft., do not extend more than a distance of 80 percent or greater than the width of the building and do not exceed more than one sq. ft. for each lin. ft. of the building wall upon which the sign is displayed.

Canopy Signs

Circle K's wall canopy signs will have approximate dimensions of 13 ft by 3 ft. This falls within the requirements of Section 150.107 of the Land Use Development Code, Section 1 - 4 wall signage. Signs are not more than 200 sq.ft. do not extend more than a distance of 80 percent or greater than the width of the building and do not exceed more than one sq. ft. for each lin. ft. of the building wall upon which the sign is displayed.

Monument Sign

The applicant is proposing a modern double-sided monument sign. The bottom of the proposed sign will feature stone brick veneer to match the rest of the building, with four more components. Two of the mid-section panels will be digital format to be utilized for the fuel prices; the last component of the sign will feature the Circle K brand logo.

The sign will reach the height of 15 ft. and the width of four ft. by two in, thus, making the possible sq.ft. in sign area a total of over 40 sq. ft. As such, this monument sign deviation is also addressed in the applicant's companion TCIP request.

STAFF RECOMMENDATION

Staff found this application, as condition, was in compliance of applicable Town codes and in keeping with the character established for this area. Staff hereby recommended approval of the Design Review application for PZ-15-55 DR, subject to the following conditions:

1. Design Review approval shall expire in one year from this approval date (October 20, 2016), if a building permit is not issued for the subject construction within said period.

2. Project shall meet all applicable Fire Code requirements, including, but not limited to, meeting requirements for access, circulation, delineation of fire lanes, hydrant locations, minimum building fire sprinkler and alarm system requirements and minimum required fire flows for the subject building.
3. A Development Agreement shall be entered into between the applicant and the Town of Florence, and potentially other parties, that addresses the terms for required infrastructure improvements and costs and provisions for easements prior to the issuance of a Final Certificate of Occupancy.
4. Project is required to have legal cross-access per site plan and ADOT approval is required prior to the issuance of a Final Certificate of Occupancy.
5. Exterior lighting on the property and buildings shall be in compliance with applicable light control restrictions.
6. Monument signage shall be located on the property, outside of the ADOT Right-of-Way and outside of the "Sight Triangle" Section 150.169 of the Town Code.
7. All utility boxes, back-flow preventers and similar equipment shall be painted to match the surrounding buildings.
8. Final plans for screen walls and landscaping are subject to the review and approval of the Community Development Department.
9. An amended Design Review application shall be required if the site (APN 202-03-0580) is increased with the addition of the two property to the south, adjacent to the site (APN 202-03-059B and 202-03-059A). If the subject lots are merged, a lot combination for all three parcels is required.
10. Approval of this Design Review application is contingent upon Town Council's approval of a companion Town Core Infill Incentive Plan (TCIIP) request for the project that permits site development deviations pertaining to building setbacks, landscape setbacks, sign height and area requirements and screen wall requirements.

On motion of Chairman Bell, seconded by Vice-Chairman Putrick, and carried to approve the Circle K Design Review Application (PZ-16-55 DR) submitted by Circle K, Inc.

Michael Scarborough, Inc. stated he is in agreement with the conditions proposed by staff.

PRESENTATION/APPROVAL/DISAPPROVAL of a Design Review application for a proposed Medical Office and Pharmacy located at 240 West Highway 287, south of the Town Core.

Will Randolph, Town Planner, gave a presentation that Real Estate Developer SimonCRE Beacon V, LLC, proposed to develop a new single-story medical office building consisting of

Planning and Zoning Commission

Meeting Minutes

October 20, 2016

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approximately 12,200 sq. ft. on what is currently a vacant lot. The subject lot is located in front of the Family Dollar store and in between the Green Tree Inn and Suites and Burger King. This project will be "Build to Suit" with the future medical practice user having up to 12 exam rooms, as well as additional ancillary professional office space, encompassing approximately 9,682 sq. ft. of the building. A portion of the building will also contain a related pharmacy component encompassing approximately 2,500 sq. ft. The pharmacy will feature a drive-thru window with a canopy on the west side of the building.

In addition to the aforementioned surround uses, Fresenius Kidney Care San Tan Dialysis is located to the west of the subject site. The applicant's proposed use will complement the surrounding uses and will fill in ("Infill") a vacant lot that is between the existing structures. The site currently has zoning of Business Commercial (B-2), which allows for the proposed land uses to take place at this location. Medical/pharmacy uses will be compatible with the dialysis center adjacent to the west, and the proposed site plan allows for flow and access to the west and eastern adjacent sites.

Project Data

Parcel Number(s):	202-06-001R
Gross Acreage:	2.402 acres
Existing Use:	None
Proposed Use:	Office Professional 9,682 sq. ft. Pharmacy 2,500 sq. ft.
Zoning:	Highway Business Commercial (B-2) Zoning District
Building Area:	12,182 sq. ft.
Building Height:	21 ft. – 4 in
Parking Required:	74 stalls, total, 3 ADA Van accessible
Parking Provided:	80 stalls, 6 ADA Van accessible

Applicant meets or exceeds the required setbacks of 25 ft. on the front, 10 ft. on the interior sides, and 10 ft. on the rear property lines.

ANALYSIS:

The Design Review application is provided to review the site design and aesthetics of the proposed medical office/pharmacy. The application can be broken down into five main components:

- Building Elevations
- Access/Circulation
- Landscaping
- Grading and Drainage
- Signage

BUILDING ELEVATIONS:

The architectural style of the proposed building will be southwest contemporary, which is appropriate with the surrounding existing structures. The fundamental design and color scheme for the proposed building was modeled after the Fresenius Kidney Care San Tan Dialysis building to the west and the Family Dollar store to the east with features of the Green Tree Inn and Suites also being considered. Extra attention was paid to the building's south elevation, which will be prominently viewed from the adjacent State Highway. Colors on all four elevations include earth/desert tones that blend well with the Florence area and the surrounding structures. Overall, the color scheme adds to the southwestern contemporary architecture element. Windows and doors of the building adhere with the vertical nature and interaction of the reveals and score lines of the building.

ACCESS:

This site will contain two vehicular access points that will provide ingress and egress for patrons and emergency services. Two 26 ft wide access points will occur from shared access points to the east and the west. The proposed access from the east will extend from an existing retail center (Family Dollar) parking lot. The applicant will provide paved access improvements to an existing shared drive to the east through the south portion of the existing Family Dollar store parking lot. The applicant will provide westerly access to the existing private access drive that serves the Fresenius Kidney Care San Tan Dialysis building and the Green Tree Inn and Suites. A Traffic Impact analysis statement has been provided by the applicant to the Arizona Department of Transportation Department (ADOT) for review in conjunction with the Town Engineer.

Per the Town Code (Section 150.163), one parking space is required per 150 S.F. for medical offices and one space is required per 300 sq. ft. for retail/commercial uses under the health care parking category. The proposed medical/pharmacy building has a proposed 12,182 sq. ft. total floor area, with 9,662 sq. ft. designated for the medical office portion and 2,500 sq. ft. designated for the pharmacy portion. Seventy-four parking spaces are required and the applicant is proposing 80 spaces, including eight ADA accessible parking stalls.

National parking standards require 9 ft. by 18 ft. parking stalls dimensions, and the applicant meets those requirements. Aisle widths between 90 degree parking stalls are 27 ft., which also meet the National requirements of the 24 ft. minimal aisle standards.

No offsite loading is required per Section 150.164 of the Land Use Development Code. The applicant has agreed to exceed the Town Code requirements by providing truck loading/unloading berths on the rear side of the property. This would also accommodate ambulance emergency vehicles and other emergency apparatuses.

GRADING AND DRAINAGE:

Grading and retention will be done in accordance with Town codes and the subject site will have primary retention basins along the south side of property. Surface retention basins will include attractive landscaping to aid in the appeal of the property to the surrounding users and traffic

along State Highway 287. It is anticipated that the site will also have some underground retention.

LANDSCAPE/SCREENING:

The landscape design will consider the surrounding developments. The applicant plans to buffer any visual/noise disturbances from the site by providing landscape buffers and screen walls to alleviate any affects to the surrounding property owners. For screening purposes, the applicant proposed to place six ft. screen walls along the north side and west side of the building.

Desert xeriscape landscaping will be used in landscape retention areas along State Highway 287, as well as the west and north boundaries of the building to buffer against vehicle noise and other disturbances. A conceptual plant palette has been provided by the applicant and consists of low water use trees and shrubs with (39) 24 in box gallon trees and numerous five-one gallon shrubs. Landscaping areas will consist of decomposed half inch Madison Gold (DG) granite around trees/shrubs and in any retention areas. In addition, Town staff also requested the three landscaped islands and perimeter landscaping contain half inch Madison Gold (DG) within the locations shown in the site plan. Low water use plants are encouraged for use as stated in Section 150.134 of the Land Use Development Code, and all other landscaping within the site shall adhere to part four of the landscape standard sections 150.131 thru 150.145 of the Land Development Code.

The applicant shall adhere to part 2 of the Land Development code sections 150.083 thru 150.091 for outdoor lighting control. LED lighting is intended to be used on site for the external illumination of buildings and used for parking and outdoor uses. Lighting shall be directed down and away from adjacent properties and to minimize glare, and shall be arranged/ shielded so lighting shall not shine or reflect directly on any adjacent residential property. Compliance with local light control and dark sky regulations is required.

SIGNAGE:

A complete signage Design Review application package will be submitted at a later date. The submitted site plan shows monument signage in the State Highway 287 ROW. The applicant understands that the sign will need to be set back from the highway.

STAFF RECOMMENDATION

Staff found this application was in compliance of applicable Town codes and in keeping with the character established for this area. Therefore, staff hereby recommended approval of the Design Review application for PZ-15-58 DR, subject to the following conditions:

1. Design Review approval shall expire in one year from this approval date (October 20, 2016) if a building permit is not issued for the subject construction within said period. Project construction shall comply with all applicable Town codes, including all applicable building, fire and engineering codes.

2. Project shall meet all applicable Fire Code requirements, including, but not limited to, meeting requirements for access, circulation, delineation of on-site and off-site fire lanes, hydrant locations, minimum building fire sprinkler and alarm system requirements and minimum required fire flows for the subject building.
3. A Development Agreement shall be entered into between the applicant and the Town of Florence, and potentially other parties including the Florence Unified School District, that addresses the terms for required infrastructure improvements and costs and provisions for easements prior to the issuance of a Final Certificate of Occupancy.
4. Project shall comply with final grading and drainage plans subject to the Town of Florence Engineer.
5. ADOT approval is required prior to the issuance of a Final Certificate of Occupancy.
6. Exterior lighting on the property and buildings shall be in compliance with applicable light control restrictions.
7. Exterior signage will require Design Review approval. Monument signage, if utilized, must be located on the property and outside of the ADOT Right-of-Way.
8. All utility boxes, back-flow preventers and similar equipment shall be painted to match the surrounding buildings.
9. Final plans for screen walls and landscaping are subject to the review and approval of the Community Development Department.

On motion of Commissioner Bell, seconded by Vice-Chairman Putrick, and carried to approve the Medical Office and Pharmacy Design Review Application (PZ 16-58 PP) submitted by SimonCRE Beacon V, LLC.

Mark Barbour, representing Archicon Architecture and Interiors, L.C. stated he is in agreement with the conditions proposed by staff.

CALL TO THE PUBLIC/COMMISSION RESPONSE

Call to the Public for public comment on issues within the jurisdiction of the Planning and Zoning Commission. Individual Commission members may respond to criticisms made, may ask staff to review a matter raised or may ask that a matter be put on a future agenda. However, members of the Commission shall not discuss or take action on any matter during an open call to the public unless the matters are properly noticed for discussion and legal action.

No public comment.

CALL TO THE COMMISSION- CURRENT EVENTS ONLY

No commissioner comments

ADJOURNMENT

On motion of Vice-Chairman Putrick, seconded by Commissioner Bell, and carried to adjourn the meeting at 7:03 pm.

X _____
Gary Pranzo

Date



**Planning and Zoning Commission
Staff Report**

December 15, 2016
Agenda Item (5A)

Project Name: Anthem at Merrill Ranch Unit 52 (PZ-16-63)
Prepared By: Will Randolph, Town Planner
Reviewed By: Mark Eckhoff, AICP, Community Development Director

REQUEST:

This is a request for approval of the following:

A Preliminary Plat application for Unit 52 at Anthem at Merrill Ranch (AMR) submitted by Pulte Group, Inc. The subject subdivision is located near the northwest corner of Merrill Ranch Parkway and Felix Road.

BACKGROUND/ANALYSIS:

Pulte Group, Inc. ("Pulte") would like to bring the subject area through the platting and engineering process in order to have more available lots ready for new homes within the Sun City area of the AMR community.

There are 125 single-family residential lots proposed for this 55 acre subdivision that will be strategically surrounded by open space. More specifically, this particular unit is circled by the Poston Butte Gold Course, creating an opportunity for a more private subdivision with prime view lots. Unit 52 has one main point of public ingress/egress into the subdivision, but a secondary emergency access roadway that connects to Bushwood Court ensures that minimal access requirements will be met while concurrently maintaining the intimacy of this subdivision.

Neighborhood streets in this unit are designed and constructed with a 40 foot wide right-of-way (ROW), which is consistent with the AMR PUD zoning. Though the 40 foot ROW will be utilized for this subdivision, the improvement plans for this unit will reflect modifications to the local street sidewalk standard to ensure ADA compliance. AMR 52 is connected to surrounding subdivision 56A to the north and uses Balboa Drive which serves as a neighborhood street to the site.

The minimum lot area proposed for this subdivision is 6,095 square feet and the maximum lot area proposed is 23,151 square feet. The average lot size planned for this subdivision is 8,152 square feet. The resultant density for this particular unit will

be very low 2.05 dwelling units per acre. The low density factors in the abundant open space surrounding this particular unit. The AMR zoning permitted an overall single-family residential density of 3.5 dwelling units per acre for AMR

Town of Florence Public Works and Fire Department staff has reviewed the proposed subdivision and support this unit advancing to the Final Plat process. Final comments from these departments will be addressed on the civil plans for this unit.

STAFF FINDING:

- The proposed preliminary plat is in conformance with the AMR PUD and Town Code requirements.
- Two points of vehicular access are proposed.
- AMR Unit 52 meets the density and open space requirements of the AMR PUD.

STAFF RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission approve this Preliminary Plat, subject to the following conditions of approval.

1. Development of subdivision shall comply with all applicable Town codes, including all applicable planning, building, and fire and engineering requirements.
2. Developer/Property owner is responsible for all applicable street dedications and improvements at the time the subdivision is developed, except as otherwise approved by the Town of Florence.
3. The Fire and Public Works departments retain the right to address additional development details for this subdivision, such as, but not limited to, easements, dedications, storm water and drainage improvements, ADA compliance, and fire hydrant placements during the reviews of the civil plans and Final Plats for the subject unit.
4. Any additional conditions deemed necessary by the Planning and Zoning Commission.

APPLICATION FOR PRELIMINARY PLAT

PROJECT NAME: Anthem @ Merrill Ranch Unit-52

REQUEST TYPE: Preliminary Plat Time Extension
 Preliminary Plat Amendment

1. Property Owner: Name: Pulte Group, Inc (Randy Christman)

Address: 16767 N. Perimeter Drive, Suite 100
Scottsdale, Az 85260

Phone: 480-391-6000 Fax: 480-391-6109

Email: Randy.Christman@PulteGroup.com

2. Applicant/Developer: Name: Pulte Group, Inc (Randy Christman)

Address: 16767 N. Perimeter Drive, Suite 100
Scottsdale, Az 85260

Phone: 480-391-6000 Fax: 480-391-6109

Email: Randy.Christman@PulteGroup.com

3. Address or Location of Property: Anthem @ Merrill Ranch, Florence, AZ

4. Tax Parcel Numbers: _____

Gross Acres: 55.86 ac Number of Lots: 125

Zoning: PUD


SIGNATURE OF PROPERTY OWNER or REPRESENTATIVE

10-11-16
DATE

FOR STAFF USE ONLY:

CASE NO. _____	APPLICATION DATE AND TIME _____
PERMIT NO. _____	FEE \$ _____
P&Z HEARING DATE _____	REVIEWED BY: _____
RECOMMENDATION: APPROVAL	DISAPPROVAL



SCALE: 1"= 40'

ABBREVIATIONS

- (AC) ACRE
- AC ALUMINUM CAP
- BC BRASS CAP
- BK BOOK
- BOB BASIS OF BEARING
- CL CENTER LINE
- DKT DOCKET
- FND FOUND MONUMENT
- GLO GENERAL LAND OFFICE
- IP IRON PIPE
- LE LANDSCAPE EASEMENT
- LS##### LAND SURVEYORS REGISTRATION No.
- (M) MEASURED BEARING OR DISTANCE
- MOL MORE OR LESS
- NO ID NO IDENTIFICATION, (NO LS No.)
- (NR) INDICATES LINE IS NOT RADIAL TO CURVE
- NTS NOT TO SCALE
- PCR PINAL COUNTY RECORDER
- PG PAGE
- PCHD PINAL COUNTY HIGHWAY DEPARTMENT
- POB POINT OF BEGINNING
- PUFE PUBLIC UTILITY FACILITY EASEMENT/ DRAINAGE EASEMENT
- R # E RANGE LINE No. EAST
- (R) RECORD BEARING OR DISTANCE
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- ROW RIGHT OF WAY
- SEC # SECTION No.
- SDE STORM DRAIN EASEMENT
- SSE SANITARY SEWER EASEMENT
- TOF TOWN OF FLORENCE
- T # S TOWNSHIP LINE No. SOUTH
- UON UNLESS OTHERWISE NOTED
- UVT UNOBSTRUCTED VIEW TRIANGLE
- VNAE VEHICULAR NON-ACCESS EASEMENT
- WME WALL MAINTENANCE EASEMENT

SYMBOL LEGEND

- SECTION CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- CENTERLINE MONUMENT, TO BE SET AT TIME OF CONSTRUCTION, (UNLESS NOTED OTHERWISE)
-
- IRON PIPE, (AS NOTED)
- USGS SURVEY MONUMENT, (AS NOTED)
- SANITARY SEWER MANHOLE
- FIRE HYDRANT WITH REFLECTOR
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- STREET W/ DIRECTION OF FLOW, UON

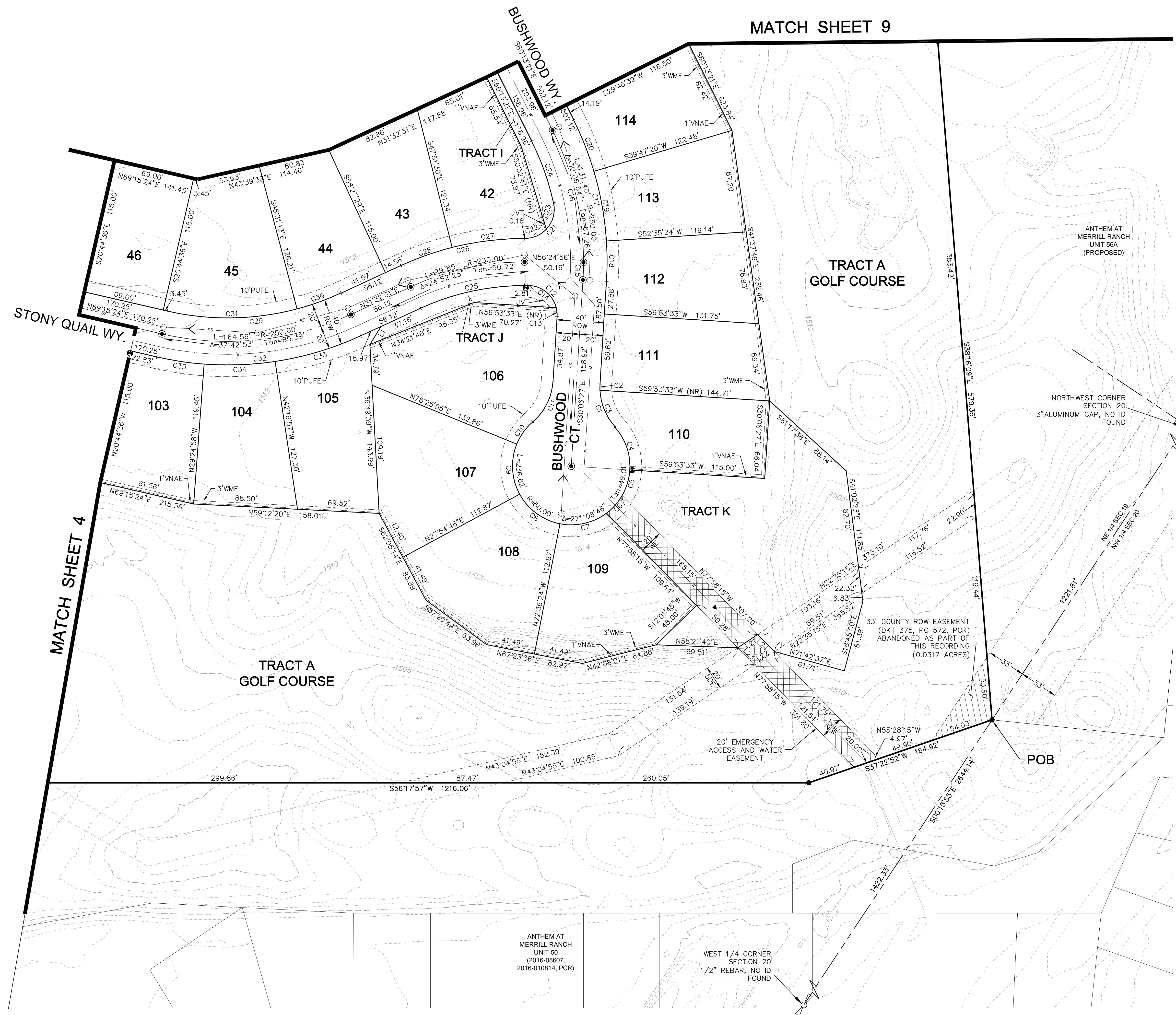
LINE LEGEND

-
- WATER LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- BREAK LINE
- CENTERLINE OF ROADWAY
- EASEMENT LINE
- PLAT BOUNDARY
- PROPERTY LINE
- ROW
- SECTION LINE
- SECTION TIES
- TERMINAL POINT ON ROW INDICATES THAT PORTION OF THE 33' COUNTY ROW EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.

LINE	BEARING	DISTANCE
L1	N02°08'53\"W	18.03'
L21	N22°35'15\"E	20.34'
L22	N22°35'15\"E	20.34'
L23	N77°58'15\"W	20.34'
L24	N77°58'15\"W	20.34'

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	39.77'	50.00'	45°34'23\"	21.00'
C2	5.39'	50.00'	6°10'22\"	2.70'
C3	34.38'	50.00'	39°24'01\"	17.90'
C4	39.77'	50.00'	45°34'23\"	21.00'
C5	22.91'	50.00'	26°15'28\"	11.66'
C6	20.19'	50.00'	23°08'25\"	10.24'
C7	41.98'	50.00'	48°06'10\"	22.32'
C8	44.09'	50.00'	50°31'10\"	23.59'
C9	44.09'	50.00'	50°31'10\"	23.59'
C10	23.59'	50.00'	27°02'01\"	12.02'
C11	39.77'	50.00'	45°34'23\"	21.00'
C12	40.79'	25.00'	93°28'38\"	26.57'
C13	7.62'	25.00'	17°28'14\"	3.84'
C14	33.16'	25.00'	76°00'24\"	19.53'
C15	15.17'	250.00'	3°28'38\"	7.59'
C16	116.23'	250.00'	26°38'17\"	59.18'
C17	141.91'	270.00'	30°06'54\"	72.64'
C18	34.41'	270.00'	7°18'09\"	17.23'
C19	60.32'	270.00'	12°48'04\"	30.29'
C20	47.18'	270.00'	10°00'41\"	23.65'
C21	44.80'	25.00'	102°40'49\"	31.25'
C22	20.42'	25.00'	46°48'13\"	10.82'
C23	24.38'	25.00'	55°52'36\"	13.26'
C24	56.03'	230.00'	13°57'27\"	28.15'
C25	91.17'	210.00'	24°52'25\"	46.31'
C26	108.53'	250.00'	24°52'25\"	55.13'
C27	62.28'	250.00'	14°16'26\"	31.30'
C28	46.25'	250.00'	10°35'59\"	23.19'
C29	151.40'	230.00'	37°42'53\"	78.56'
C30	39.89'	230.00'	9°56'16\"	20.00'
C31	111.50'	230.00'	27°46'37\"	56.87'
C32	177.73'	270.00'	37°42'53\"	92.22'
C33	76.23'	270.00'	16°10'32\"	38.37'
C34	60.63'	270.00'	12°51'59\"	30.44'
C35	40.87'	270.00'	8°40'22\"	20.47'

MATCH SHEET 9



ANTHEM AT MERRILL RANCH UNIT 50 (2016-08607, 2016-010814, PCR)

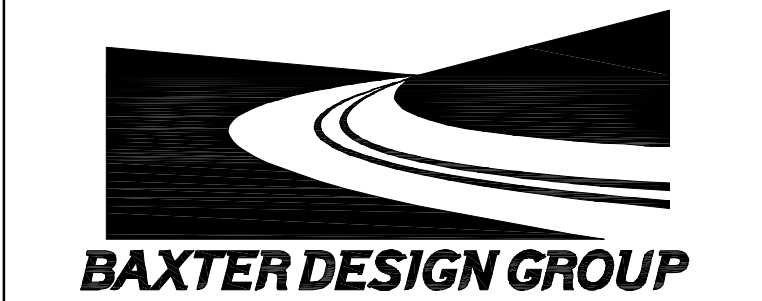
WEST 1/4 CORNER SECTION 20 1/2\" REBAR, NO ID FOUND

NORTHWEST CORNER SECTION 20 3\" ALUMINUM CAP, NO ID FOUND

NORTH 1/4 CORNER SECTION 20 1-1/2\" ALUM CAP, NO ID FOUND

33' COUNTY ROW EASEMENT (DKT 375, PO 572, PCR) ABANDONED AS PART OF THIS RECORDING (0.0317 ACRES)

20' EMERGENCY ACCESS AND WATER EASEMENT



DATE: OCTOBER 6, 2016
 DESIGNED BY: BDG
 DRAWN BY: JTS
 REVIEWED BY: JWW
 PROJECT:
 ISSUE: PRELIMINARY PLAT



PULTE GROUP

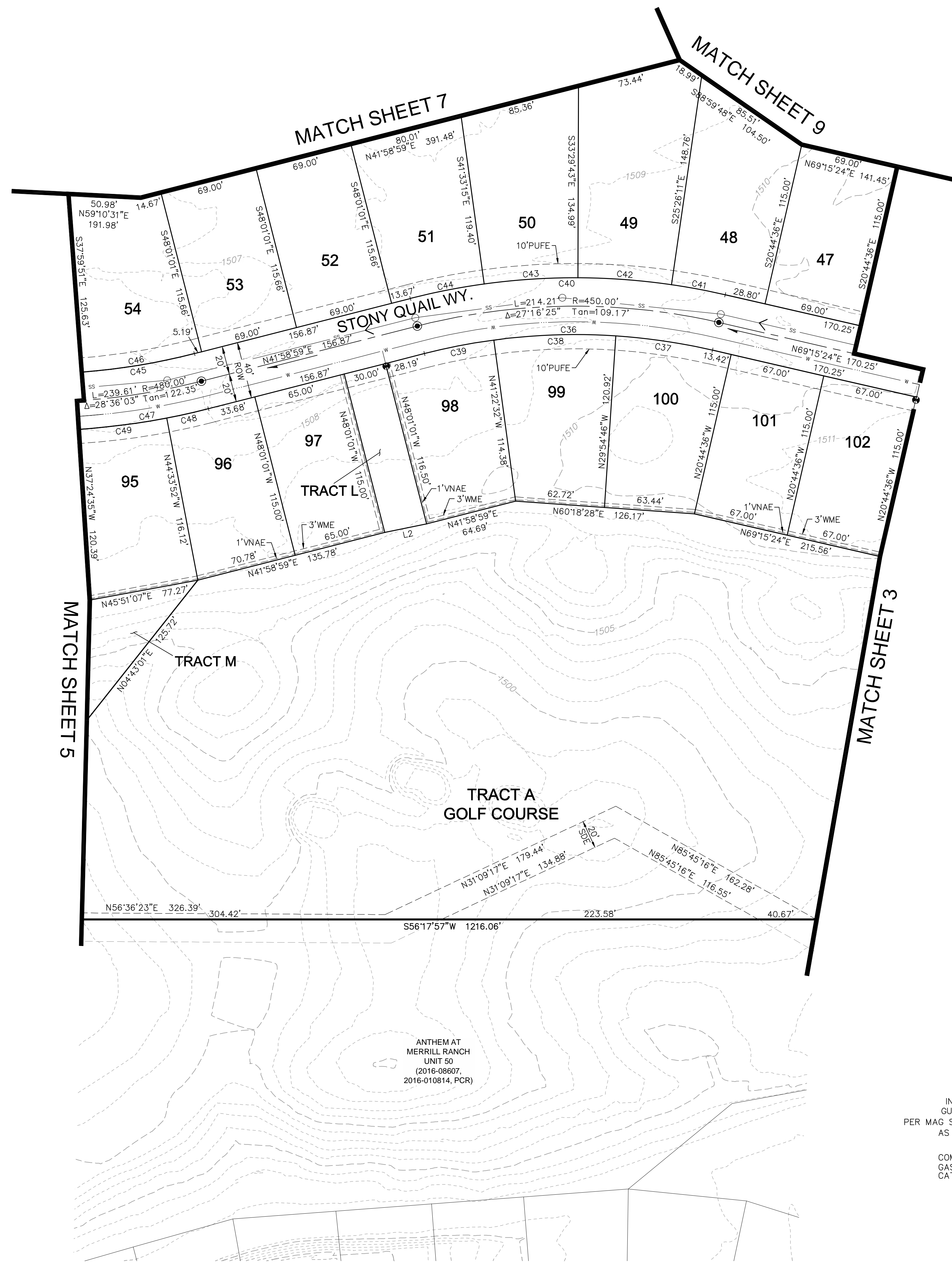
ANTHEM AT MERRILL RANCH

PRELIMINARY PLAT UNIT 52

SITUATED WITHIN THE EAST HALF OF SECTION 19 AND TOWNSHIP 4 SOUTH, RANGE 9 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 52
 LAYOUT SHEET
 SHEET 3 OF 10

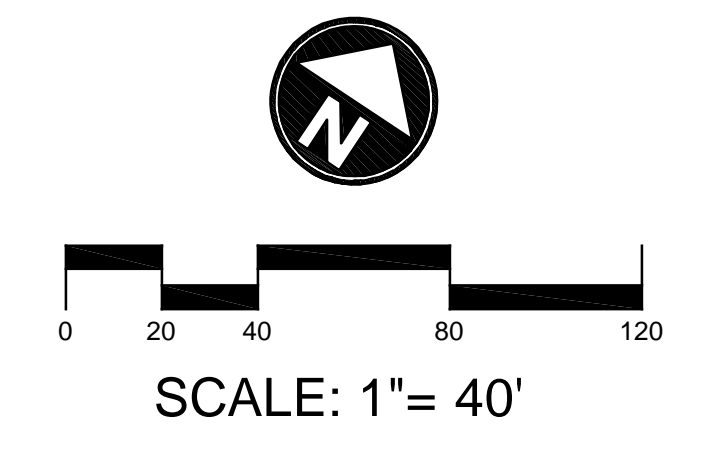
VERSION



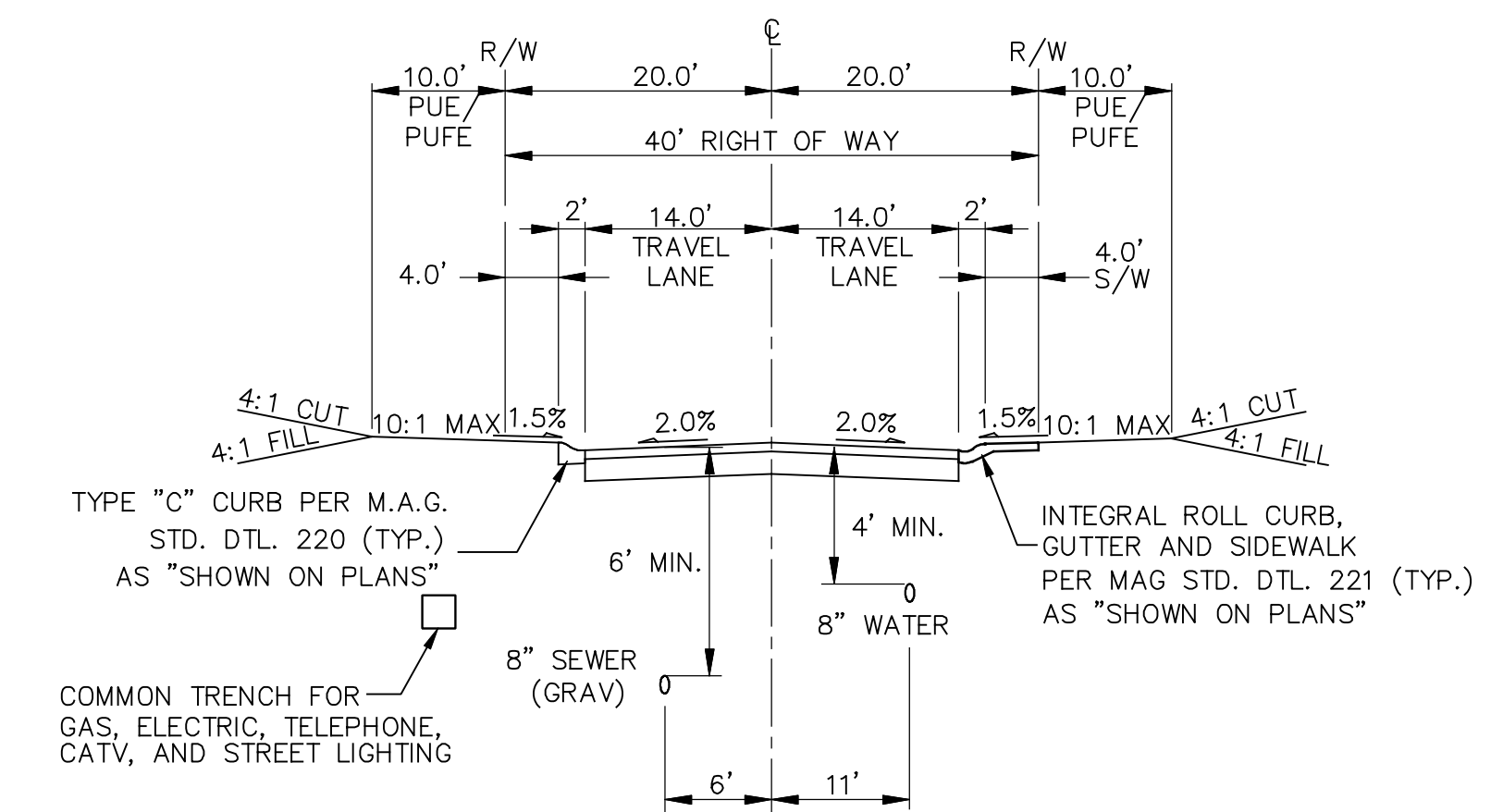
LINE TABLE		
LINE	BEARING	DISTANCE
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CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	TANGENT
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C37	68.82'	430.00'	9°10'11"	34.48'
C38	86.03'	430.00'	11°27'46"	43.16'
C39	49.84'	430.00'	6°38'28"	24.95'
C40	223.73'	470.00'	27°16'25"	114.02'
C41	38.50'	470.00'	4°41'35"	19.26'
C42	66.11'	470.00'	8°03'32"	33.11'
C43	66.11'	470.00'	8°03'32"	33.11'
C44	53.01'	470.00'	6°27'46"	26.53'
C45	229.62'	460.00'	28°36'03"	117.26'
C46	80.44'	460.00'	10°01'09"	40.32'
C47	249.59'	500.00'	28°36'03"	127.45'
C48	30.13'	500.00'	3°27'09"	15.07'
C49	62.44'	500.00'	7°09'17"	31.26'

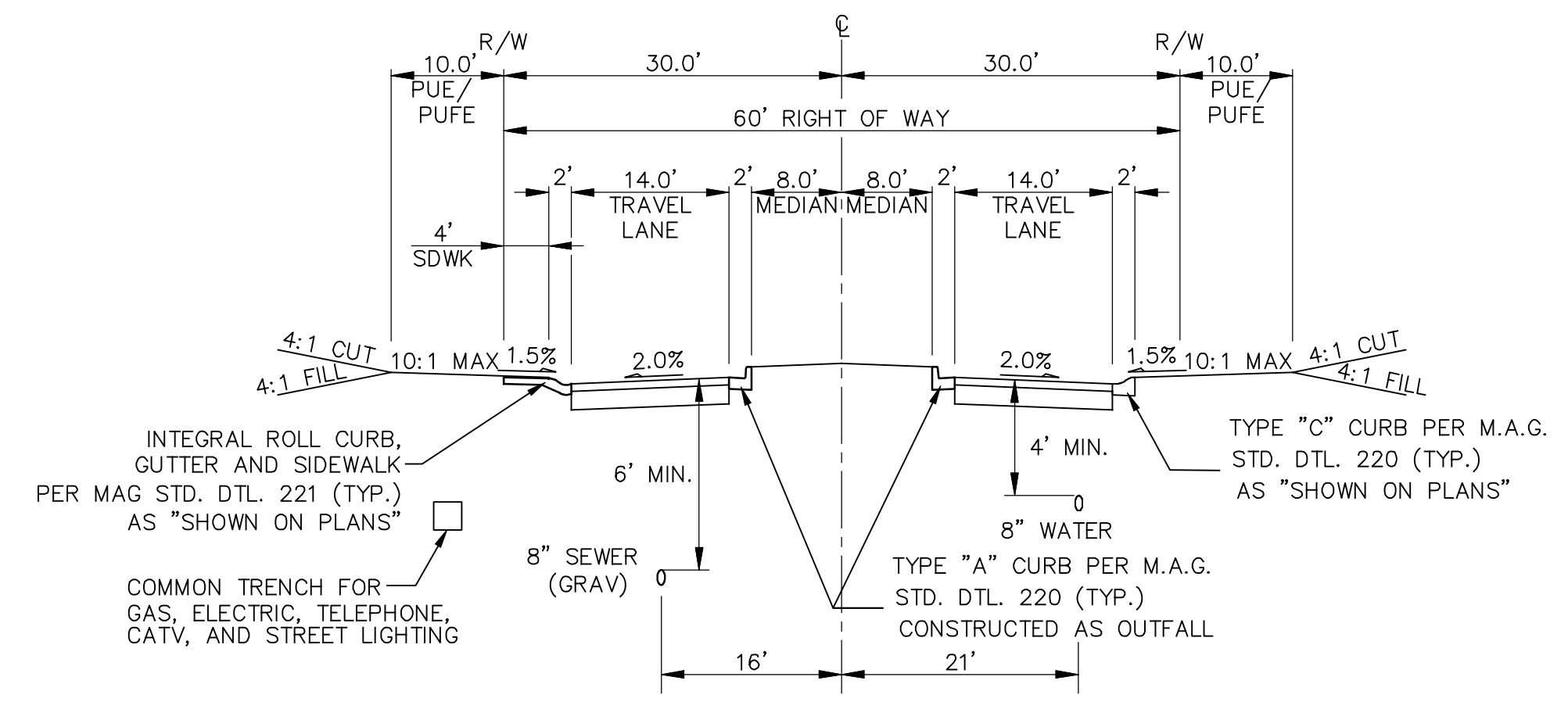
- ### SYMBOL LEGEND
- SECTION CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
 - QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
 - CENTERLINE MONUMENT, TO BE SET AT TIME OF CONSTRUCTION, (UNLESS NOTED OTHERWISE)
 -
 - IRON PIPE, (AS NOTED)
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 - SANITARY SEWER MANHOLE
 - FIRE HYDRANT WITH REFLECTOR
 - HANDICAP RAMP
 - STREET W/ DIRECTION OF FLOW, UON
- ### LINE LEGEND
- - WATER LINE
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 - PROPOSED CONTOUR
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 - CENTERLINE OF ROADWAY
 - EASEMENT LINE
 - PLAT BOUNDARY
 - PROPERTY LINE
 - ROW
 - SECTION LINE
 - SECTION TIES
 - TERMINAL POINT ON ROW INDICATES THAT PORTION OF THE 33' COUNTY ROW EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.



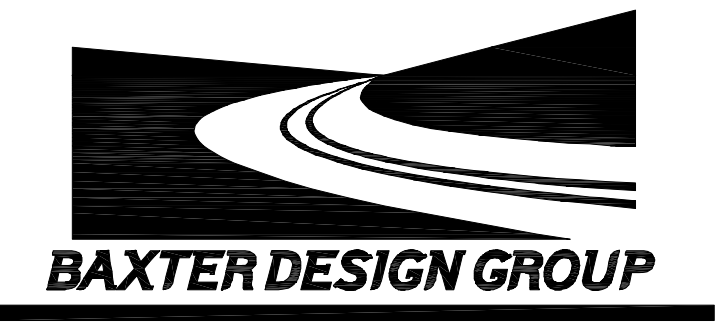
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 - BK BOOK
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 - LE LANDSCAPE EASEMENT
 - LS##### LAND SURVEYORS REGISTRATION No.
 - (M) MEASURED BEARING OR DISTANCE
 - MOL MORE OR LESS
 - NO ID NO IDENTIFICATION, (NO LS No.)
 - (NR) INDICATES LINE IS NOT RADIAL TO CURVE
 - NTS NOT TO SCALE
 - PCR PINAL COUNTY RECORDER
 - PG PAGE
 - PCHD PINAL COUNTY HIGHWAY DEPARTMENT
 - POB POINT OF BEGINNING
 - POE EASEMENT/ DRAINAGE EASEMENT
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 - UON UNLESS OTHERWISE NOTED
 - UVT UNOBSTRUCTED VIEW TRIANGLE
 - VNAE VEHICULAR NON-ACCESS EASEMENT
 - WME WALL MAINTENANCE EASEMENT



LOCAL STREET
(LOOKING NORTH AND EAST)
NTS



ENRTY STREET
(LOOKING NORTH AND EAST)
NTS



DATE: OCTOBER 6, 2016
 DESIGNED BY: BDG
 DRAWN BY: STS
 REVIEWED BY: JWW
 PROJECT:
 ISSUE: PRELIMINARY PLAT



REVISIONS:	VERSION

PULTE GROUP

ANTHEM AT MERRILL RANCH

PRELIMINARY PLAT UNIT 52

SITUATED WITHIN THE EAST HALF OF SECTION 19 AND TOWNSHIP 4 SOUTH, RANGE 9 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 52
LAYOUT SHEET
SHEET 4 OF 10

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 file name: 742-AMR UNIT 52 PP.dwg | plot date: October 07, 2016 | plotted by: coudes

MATCH SHEET 7

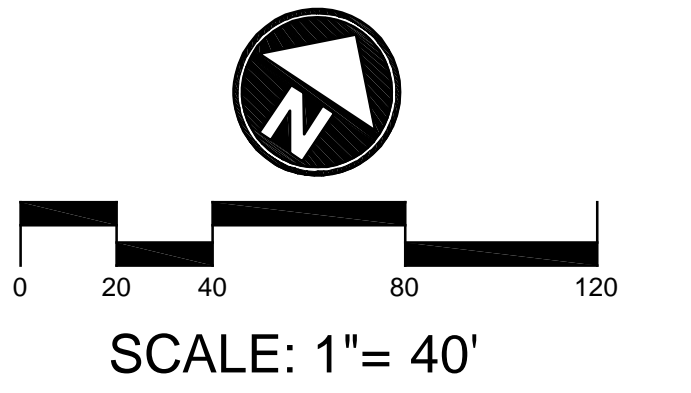
SPYGLASS DR.

SYMBOL LEGEND

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- QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- CENTERLINE MONUMENT, TO BE SET AT TIME OF CONSTRUCTION, (UNLESS NOTED OTHERWISE)
- 1/2" REBAR & CAP, RLS 21065 TO BE SET, (UNLESS NOTED OTHERWISE)
- IRON PIPE, (AS NOTED)
- USGS SURVEY MONUMENT, (AS NOTED)
- SANITARY SEWER MANHOLE
- FIRE HYDRANT WITH REFLECTOR
- HANDICAP RAMP
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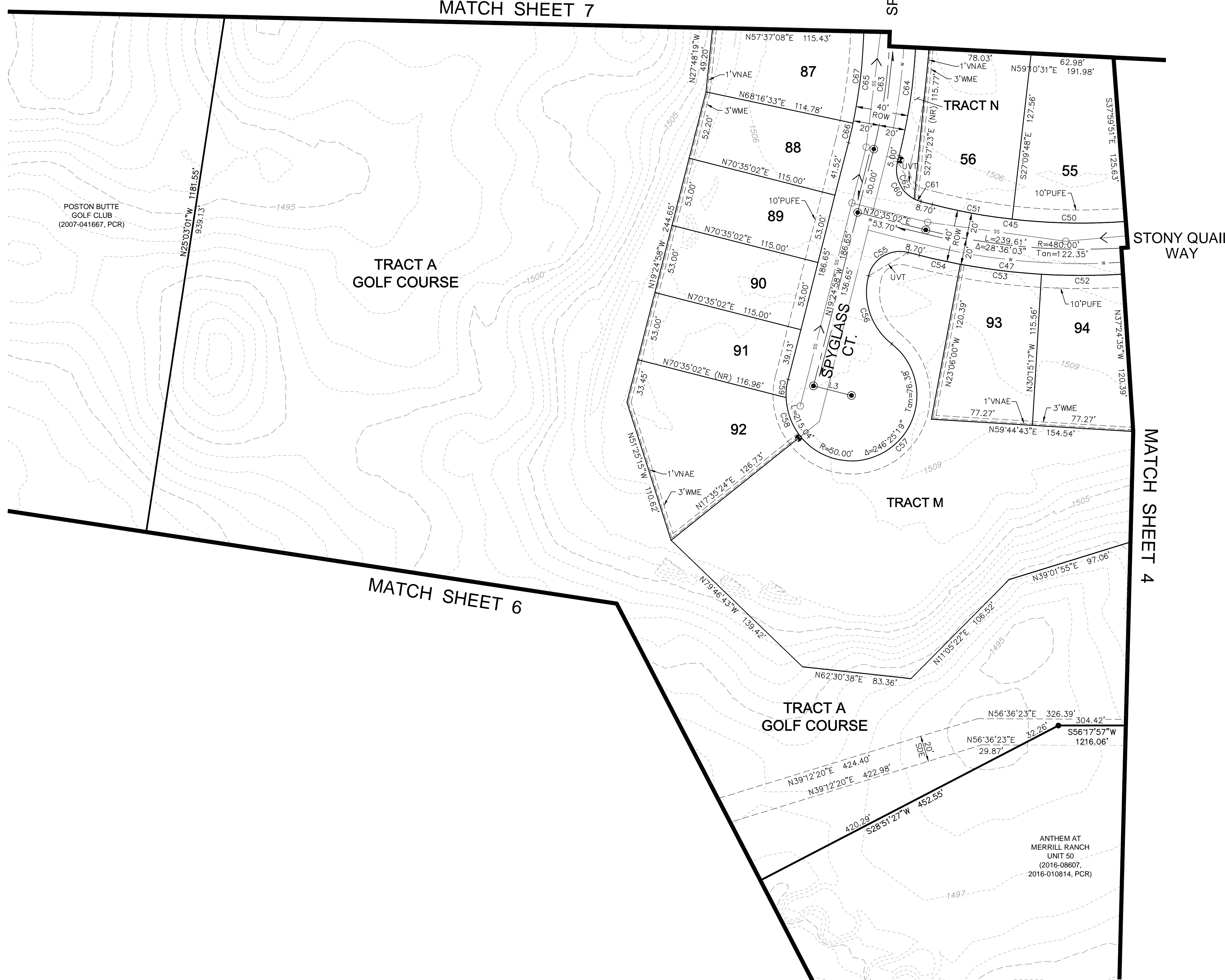
LINE LEGEND

- 8" SANITARY SEWER W/ DIRECTION OF FLOW, UON
- WATER LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- BREAK LINE
- CENTERLINE OF ROADWAY
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- PG PAGE
- PCHD PINAL COUNTY HIGHWAY DEPARTMENT
- POB POINT OF BEGINNING
- PUFE PUBLIC UTILITY FACILITY EASEMENT/ DRAINAGE EASEMENT
- R # E RANGE LINE No. EAST
- (R) RECORD BEARING OR DISTANCE
- (RB) RADIAL BEARING
- ROW RIGHT OF WAY
- SEC # SECTION No.
- SDE STORM DRAIN EASEMENT
- SSE SANITARY SEWER EASEMENT
- TOF TOWN OF FLORENCE
- T # S TOWNSHIP LINE No. SOUTH
- UON UNLESS OTHERWISE NOTED
- UVT UNOBSTRUCTED VIEW TRIANGLE
- VNAE VEHICULAR NON-ACCESS EASEMENT
- WME WALL MAINTENANCE EASEMENT



STONY QUAIL WAY

MATCH SHEET 4

TRACT A GOLF COURSE

TRACT M

TRACT A GOLF COURSE

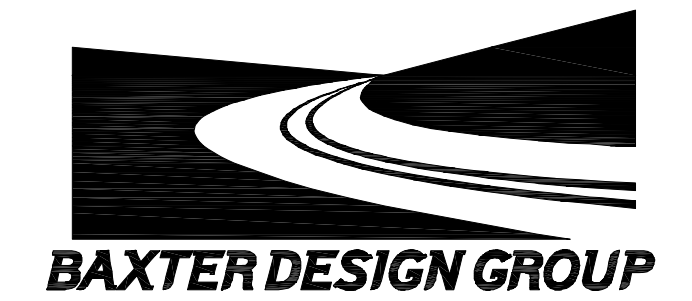
ANTHEM AT MERRILL RANCH UNIT 50 (2016-08607, 2016-010814, PCR)

LINE TABLE

LINE	BEARING	DISTANCE
L3	N70°35'02"E	30.00'

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C45	229.62'	460.00'	28°36'03"	117.26'
C47	249.59'	500.00'	28°36'03"	127.45'
C50	86.98'	460.00'	10°50'04"	43.62'
C51	62.20'	460.00'	7°44'50"	31.15'
C52	62.44'	500.00'	7°09'17"	31.26'
C53	62.44'	500.00'	7°09'17"	31.26'
C54	32.15'	500.00'	3°41'02"	16.08'
C55	39.27'	25.00'	90°00'00"	25.00'
C56	57.96'	50.00'	66°25'19"	32.73'
C57	168.80'	50.00'	193°25'40"	424.74'
C58	32.19'	50.00'	36°53'32"	16.68'
C59	14.05'	50.00'	16°06'06"	7.07'
C60	39.27'	25.00'	90°00'00"	25.00'
C61	5.83'	25.00'	13°21'19"	2.93'
C62	33.44'	25.00'	76°38'41"	19.76'
C63	99.67'	400.00'	14°16'38"	50.10'
C64	104.66'	420.00'	14°16'38"	52.60'
C65	94.69'	380.00'	14°16'38"	47.59'
C66	15.31'	380.00'	2°18'30"	7.66'
C67	70.68'	380.00'	10°39'25"	35.44'



DATE: OCTOBER 6, 2016
 DESIGNED BY: BDG
 DRAWN BY: STS
 REVIEWED BY: JWW
 PROJECT:
 ISSUE: PRELIMINARY PLAT

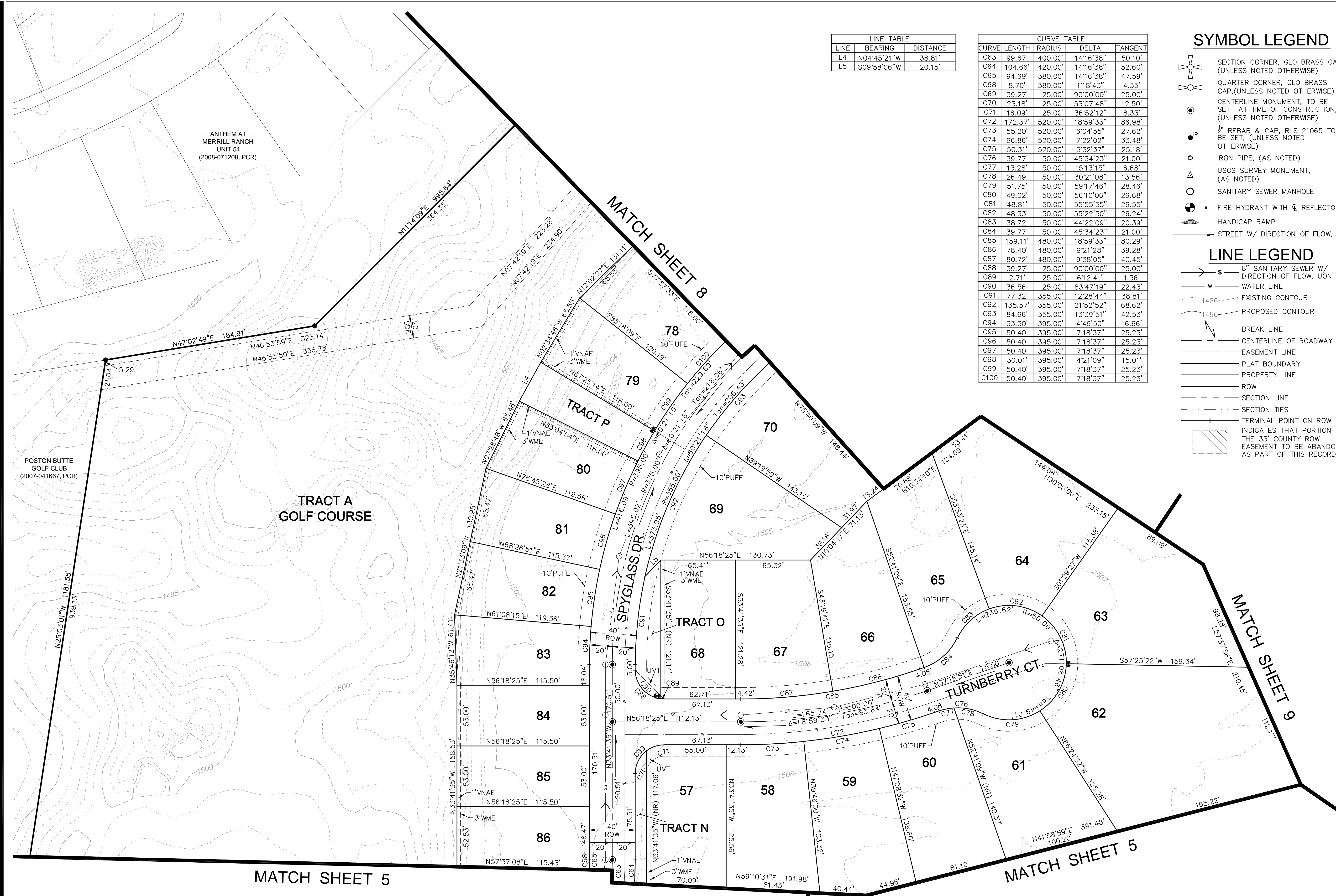


PULTE GROUP
ANTHEM AT MERRILL RANCH
PRELIMINARY PLAT UNIT 52

SITUATED WITHIN THE EAST HALF OF SECTION 19 AND TOWNSHIP 4 SOUTH, RANGE 9 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 52
 LAYOUT SHEET
 SHEET 5 OF 10

VERSION



LINE	BEARING	DISTANCE
L4	N04°45'21"W	38.81'
L5	S09°58'06"W	20.15'

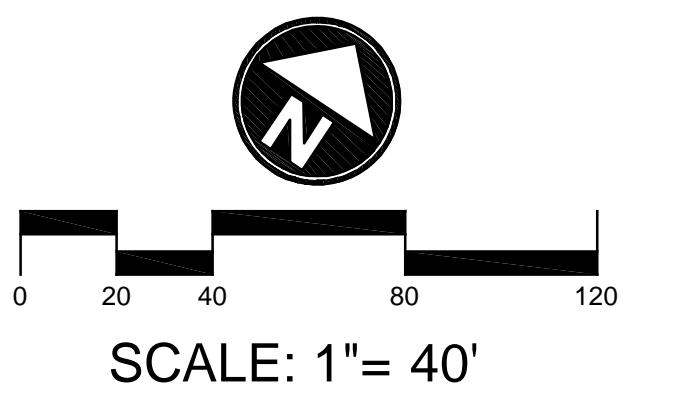
CURVE	LENGTH	RADIUS	DELTA	TANGENT
C63	99.67'	400.00'	14°16'38"	50.10'
C64	104.66'	420.00'	14°16'38"	52.60'
C65	94.69'	380.00'	14°16'38"	47.59'
C68	8.70'	380.00'	1°18'43"	4.35'
C69	39.27'	25.00'	90°00'00"	25.00'
C70	23.18'	25.00'	53°07'48"	12.50'
C71	16.09'	25.00'	36°52'12"	8.33'
C72	172.37'	520.00'	18°59'33"	86.98'
C73	55.20'	520.00'	6°04'55"	27.62'
C74	66.86'	520.00'	7°22'02"	33.48'
C75	50.31'	520.00'	5°32'37"	25.18'
C76	39.77'	50.00'	45°34'23"	21.00'
C77	13.28'	50.00'	15°13'15"	6.68'
C78	26.49'	50.00'	30°21'08"	13.56'
C79	51.75'	50.00'	59°17'46"	28.46'
C80	49.02'	50.00'	56°10'06"	26.68'
C81	48.81'	50.00'	55°55'55"	26.55'
C82	48.33'	50.00'	55°22'50"	26.24'
C83	38.72'	50.00'	44°22'09"	20.39'
C84	39.77'	50.00'	45°34'23"	21.00'
C85	159.11'	480.00'	18°59'33"	80.29'
C86	78.40'	480.00'	9°21'28"	39.28'
C87	80.72'	480.00'	9°38'05"	40.45'
C88	39.27'	25.00'	90°00'00"	25.00'
C89	2.71'	25.00'	61°24'1"	1.36'
C90	36.56'	25.00'	83°47'19"	22.43'
C91	77.32'	355.00'	12°28'44"	38.81'
C92	135.57'	355.00'	21°52'52"	68.62'
C93	84.66'	355.00'	13°39'51"	42.53'
C94	33.30'	395.00'	4°49'50"	16.66'
C95	50.40'	395.00'	7°18'37"	25.23'
C96	50.40'	395.00'	7°18'37"	25.23'
C97	50.40'	395.00'	7°18'37"	25.23'
C98	30.01'	395.00'	4°21'09"	15.01'
C99	50.40'	395.00'	7°18'37"	25.23'
C100	50.40'	395.00'	7°18'37"	25.23'

SYMBOL LEGEND

- SECTION CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- CENTERLINE MONUMENT, TO BE SET AT TIME OF CONSTRUCTION, (UNLESS NOTED OTHERWISE)
- 1/2" REBAR & CAP, RLS 21065 TO BE SET, (UNLESS NOTED OTHERWISE)
- IRON PIPE, (AS NOTED)
- USGS SURVEY MONUMENT, (AS NOTED)
- SANITARY SEWER MANHOLE
- FIRE HYDRANT WITH REFLECTOR
- HANDICAP RAMP
- STREET W/ DIRECTION OF FLOW, UON

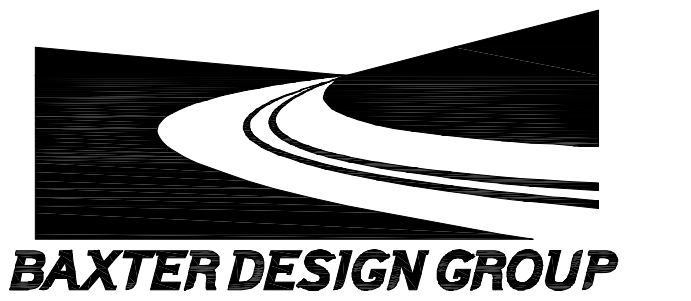
LINE LEGEND

- 8" SANITARY SEWER W/ DIRECTION OF FLOW, UON
- WATER LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- BREAK LINE
- CENTERLINE OF ROADWAY
- EASEMENT LINE
- PLAT BOUNDARY
- PROPERTY LINE
- SECTION LINE
- SECTION TIES
- TERMINAL POINT ON ROW INDICATES THAT PORTION OF THE 33' COUNTY ROW EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.



ABBREVIATIONS

- (AC) ACRE
- AC ALUMINUM CAP
- BC BRASS CAP
- BK BOOK
- BOB BASIS OF BEARING
- CL CENTER LINE
- DKT DOCKET
- FND FOUND MONUMENT
- GLO GENERAL LAND OFFICE
- IP IRON PIPE
- LE LANDSCAPE EASEMENT
- LS##### LAND SURVEYORS REGISTRATION No.
- (M) MEASURED BEARING OR DISTANCE
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- NO ID NO IDENTIFICATION, (NO LS No.)
- (NR) INDICATES LINE IS NOT RADIAL TO CURVE
- NTS NOT TO SCALE
- PCR PINAL COUNTY RECORDER
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DATE: OCTOBER 6, 2016
 DESIGNED BY: BDG
 DRAWN BY: STS
 REVIEWED BY: JWW
 PROJECT:
 ISSUE: PRELIMINARY PLAT



REVISIONS:

NO.	DESCRIPTION

PULTE GROUP
ANTHEM AT MERRILL RANCH
PRELIMINARY PLAT UNIT 52

SITUATED WITHIN THE EAST HALF OF SECTION 19 AND TOWNSHIP 4 SOUTH, RANGE 9 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 52
 LAYOUT SHEET
 SHEET 7 OF 10

path: R:\142-ANR\UNIT52-AMR\4-PLAT\4-PLAT.dwg | plot date: October 07, 2016 | plotted by: corder

VERSION

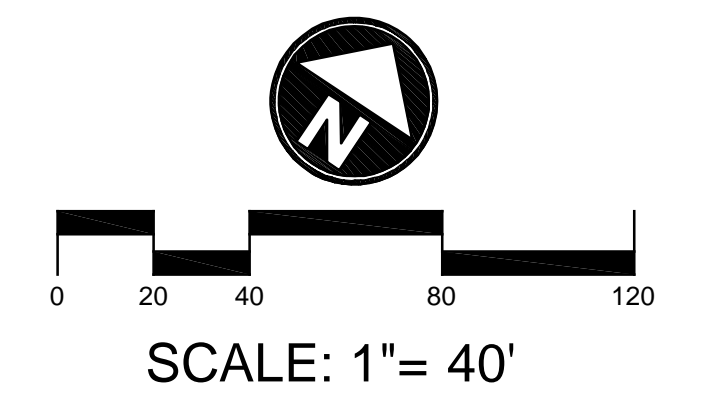


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- SANITARY SEWER MANHOLE
- FIRE HYDRANT WITH 4" REFLECTOR
- HANDICAP RAMP
- STREET W/ DIRECTION OF FLOW, UON

LINE LEGEND

- 8" SANITARY SEWER W/ DIRECTION OF FLOW, UON
- WATER LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- BREAK LINE
- CENTERLINE OF ROADWAY
- EASEMENT LINE
- PLAT BOUNDARY
- PROPERTY LINE
- ROW
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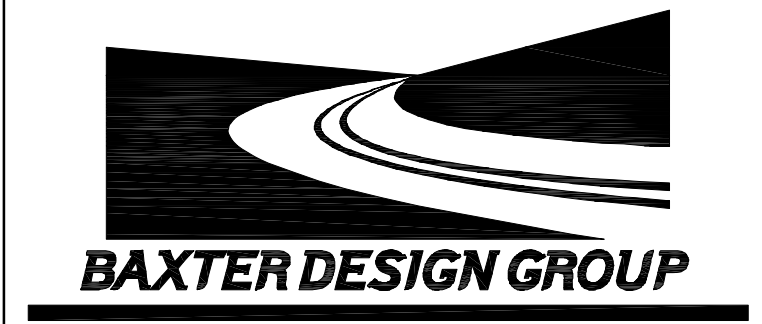
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- VNAE VEHICULAR NON-ACCESS EASEMENT
- WME WALL MAINTENANCE EASEMENT

LINE TABLE

LINE	BEARING	DISTANCE
L6	N26°39'40"E	20.00'
L7	N26°39'40"E	20.00'
L8	N11°14'09"E	20.72'
L9	N06°47'46"W	18.14'
L16	S63°38'04"E	20.02'
L17	S63°38'04"E	20.02'
L18	N23°33'11"E	20.02'
L19	N23°33'11"E	20.02'

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C101	395.02'	375.00'	60°21'16"	218.06'
C102	373.95'	355.00'	60°21'16"	206.43'
C103	76.40'	355.00'	12°19'49"	38.35'
C104	416.09'	395.00'	60°21'16"	229.69'
C105	50.40'	395.00'	7°18'37"	25.23'
C106	50.40'	395.00'	7°18'37"	25.23'
C107	39.27'	25.00'	90°00'00"	25.00'
C108	23.18'	25.00'	53°07'48"	12.50'
C109	16.09'	25.00'	36°52'12"	8.33'
C110	114.00'	245.00'	26°39'40"	58.05'
C111	7.91'	245.00'	1°50'58"	3.95'
C112	48.88'	245.00'	11°25'55"	24.52'
C113	48.88'	245.00'	11°25'55"	24.52'
C114	8.33'	245.00'	1°56'52"	4.17'
C115	95.39'	205.00'	26°39'40"	48.58'
C116	39.27'	25.00'	90°00'00"	25.00'
C117	33.77'	25.00'	77°24'18"	20.03'
C118	5.50'	25.00'	12°35'42"	2.76'
C119	552.56'	340.00'	93°06'59"	359.01'
C120	63.40'	340.00'	10°41'01"	31.79'
C121	76.63'	340.00'	12°54'51"	38.48'
C122	76.63'	340.00'	12°54'51"	38.48'
C123	73.56'	340.00'	12°23'47"	36.93'
C124	386.40'	380.00'	58°15'37"	211.77'
C125	48.05'	380.00'	7°14'39"	24.05'
C126	50.30'	380.00'	7°35'01"	25.19'
C127	50.30'	380.00'	7°35'01"	25.19'
C128	50.30'	380.00'	7°35'01"	25.19'
C129	50.30'	380.00'	7°35'01"	25.19'
C130	50.30'	380.00'	7°35'01"	25.19'
C131	50.30'	380.00'	7°35'01"	25.19'



DATE: OCTOBER 6, 2016
 DESIGNED BY: BDG
 DRAWN BY: SJS
 REVIEWED BY: JWW
 PROJECT: PRELIMINARY PLAT



REVISIONS:

NO.	DESCRIPTION

PULTE GROUP
ANTHEM AT MERRILL RANCH
PRELIMINARY PLAT UNIT 52

SITUATED WITHIN THE EAST HALF OF SECTION 19 AND TOWNSHIP 4 SOUTH, RANGE 9 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 52
LAYOUT SHEET
SHEET 8 OF 10

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VERSION

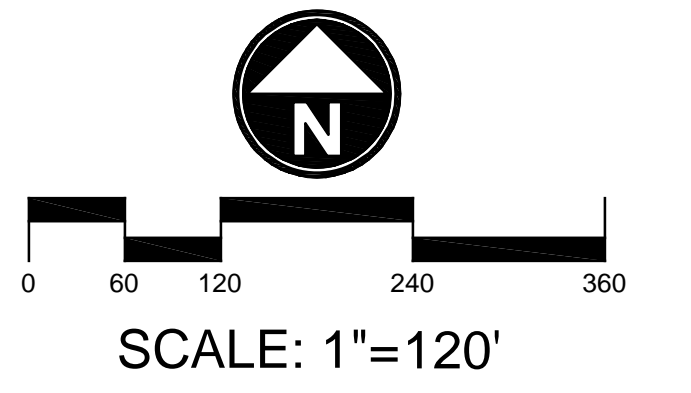


SYMBOL LEGEND

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- USGS SURVEY MONUMENT, (AS NOTED)
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- STREET W/ DIRECTION OF FLOW, UON

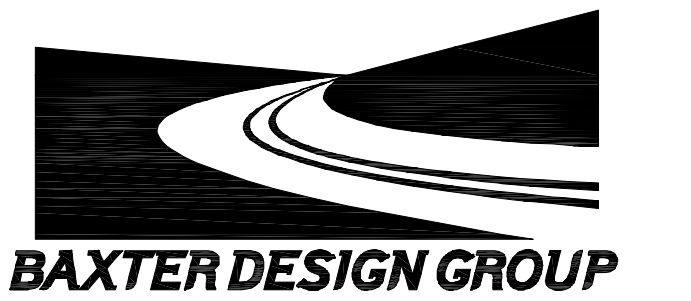
LINE LEGEND

- 8" SANITARY SEWER W/ DIRECTION OF FLOW, UON
- WATER LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- BREAK LINE
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- EASEMENT LINE
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ABBREVIATIONS

(AC)	ACRE
AC	ALUMINUM CAP
BC	BRASS CAP
BK	BOOK
BOB	BASIS OF BEARING
CL	CENTER LINE
DKT	DOCKET
FND	FOUND MONUMENT
GLO	GENERAL LAND OFFICE
IP	IRON PIPE
LE	LANDSCAPE EASEMENT
LS#####	LAND SURVEYORS REGISTRATION No.
(M)	MEASURED BEARING OR DISTANCE
MOL	MORE OR LESS
NO ID	NO IDENTIFICATION, (NO LS No.)
(NR)	INDICATES LINE IS NOT RADIAL TO CURVE
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PCR	PINAL COUNTY RECORDER
PG	PAGE
PCHD	PINAL COUNTY HIGHWAY DEPARTMENT
POB	POINT OF BEGINNING
PUFE	PUBLIC UTILITY FACILITY EASEMENT/ DRAINAGE EASEMENT
R # E	RANGE LINE No. EAST
(R)	RECORD BEARING OR DISTANCE
(RB)	RADIAL BEARING
ROW	RIGHT OF WAY
SEC #	SECTION No.
SDE	STORM DRAIN EASEMENT
SSE	SANITARY SEWER EASEMENT
TOF	TOWN OF FLORENCE
T # S	TOWNSHIP LINE No. SOUTH
UON	UNLESS OTHERWISE NOTED
UVT	UNOBSTRUCTED VIEW TRIANGLE
VNAE	VEHICULAR NON-ACCESS EASEMENT
WME	WALL MAINTENANCE EASEMENT



DATE: OCTOBER 6, 2016
 DESIGNED BY: BDG
 DRAWN BY: SJS
 REVIEWED BY: JWW
 PROJECT:
 ISSUE: PRELIMINARY PLAT



REVISIONS:

PULTE GROUP
ANthem AT MERRILL RANCH
PRELIMINARY PLAT UNIT 52

SITUATED WITHIN THE EAST HALF OF SECTION 19 AND TOWNSHIP 4 SOUTH, RANGE 9 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 52
 RETENTION
 SHEET 10 OF 10

path: R:\142-AMR\UNIT 52-AMR\4-PLAT (Crd Drawing)
 file name: 742-AMR UNIT 52 PP.dwg | plot date: October 07, 2016 | plotted by: condes

VERSION



**Planning and Zoning Commission
Staff Report**

December 15, 2016
Agenda Item (5B)

Project Name: Anthem at Merrill Ranch Unit 56A (PZ-16-61)
Prepared By: Will Randolph, Town Planner
Reviewed By: Mark Eckhoff, AICP, Community Development Director

REQUEST:

This is a request for approval of the following:

A Preliminary Plat application for Unit 56A at Anthem at Merrill Ranch (AMR) submitted by Pulte Group, Inc. The subject unit is located north of the northwest corner of Merrill Ranch Parkway and Felix Road.

BACKGROUND/ANALYSIS:

Pulte Group, Inc. ("Pulte") would like to bring the subject area through the platting and engineering process in order to have more available lots ready for new homes within the Sun City area of the AMR community. There are 49 single-family residential lots proposed for this 23 acre subdivision that abuts the Poston Butte Golf Course to the south.

Neighborhood streets in this unit are designed and constructed with a 40 foot wide right-of-way (ROW), which is consistent with the AMR PUD zoning. Though the 40 foot ROW will be utilized for this subdivision, the improvement plans for this unit will reflect modifications to the local street sidewalk standard to ensure ADA compliance. Unit 56A has multiple points of access and connectivity. Unit 56A will be connected to Unit 50 to the south using Presido Drive, and from Huntington Drive and Balboa Drive from the proposed Unit 56B to the north. Access from the south is via Balboa Drive, which connects this unit to Unit 52.

The minimum lot area proposed for this subdivision is 6,095 square feet and the maximum lot area proposed is 8,775 square feet. The average lot size planned for this subdivision is 7,231 square feet. The resultant density for this particular unit will be very low 2.08 dwelling units per acre. The low density factors in the abundant open space adjacent to this particular unit. The AMR zoning permitted an overall single-family residential density of 3.5 dwelling units per acre for AMR.

Town of Florence Public Works and Fire Department staff has reviewed the proposed subdivision and support this unit advancing to the Final Plat process. Final comments from these departments will be addressed on the civil plans for this unit.

STAFF FINDING:

- The proposed preliminary plat is in conformance with the AMR PUD and Town Code requirements.
- Two points of vehicular access are proposed.
- AMR Unit 56A meets the density and open space requirements of the AMR PUD.

STAFF RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission approve this Preliminary Plat, subject to the following conditions of approval.

1. Development of subdivision shall comply with all applicable Town codes, including all applicable planning, building, and fire and engineering requirements.
2. Developer/Property owner is responsible for all applicable street dedications and improvements at the time the subdivision is developed, except as otherwise approved by the Town of Florence.
3. The Fire and Public Works departments retain the right to address additional development details for this subdivision, such as, but not limited to, easements, dedications, storm water and drainage improvements, ADA compliance, and fire hydrant placements during the reviews of the civil plans and Final Plats for the subject unit.
4. Any additional conditions deemed necessary by the Planning and Zoning Commission.

APPLICATION FOR PRELIMINARY PLAT

PROJECT NAME: Anthem @ Merrill Ranch Unit-56 A

REQUEST TYPE: Preliminary Plat Time Extension
 Preliminary Plat Amendment

1. Property Owner: Name: Pulte Group, Inc (Randy Christman)

Address: 16767 N. Perimeter Drive, Suite 100

Scottsdale, Az 85260

Phone: 480-391-6000 Fax: 480-391-6109

Email: Randy.Christman@PulteGroup.com

2. Applicant/Developer: Name: Pulte Group, Inc (Randy Christman)

Address: 16767 N. Perimeter Drive, Suite 100

Scottsdale, Az 85260

Phone: 480-391-6000 Fax: 480-391-6109

Email: Randy.Christman@PulteGroup.com

3. Address or Location of Property: Anthem @ Merrill Ranch, Florence, AZ

4. Tax Parcel Numbers: _____

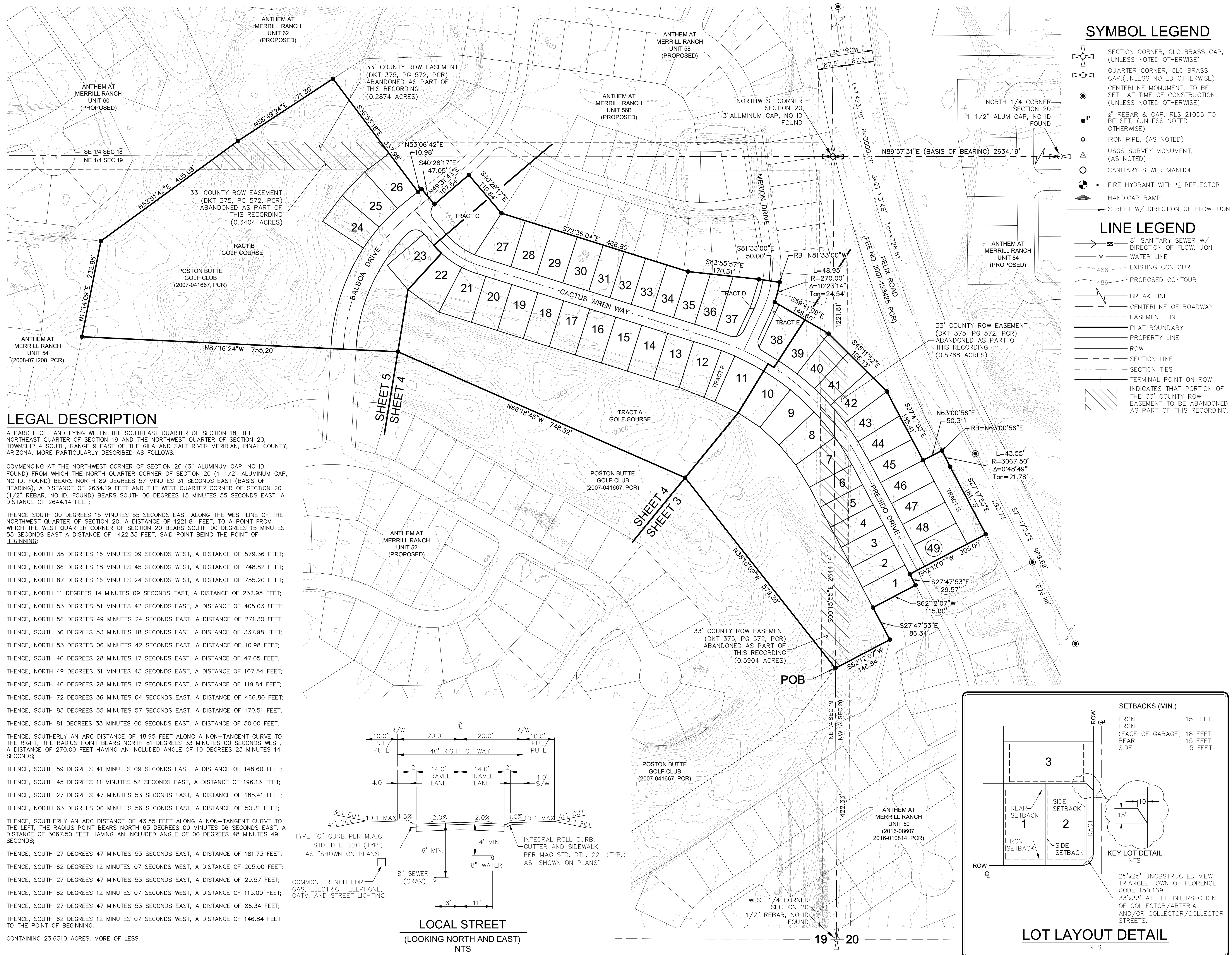
Gross Acres: 23.61 ac Number of Lots: 49

Zoning: PUD

SIGNATURE OF PROPERTY OWNER or REPRESENTATIVE 09/27/16
DATE

FOR STAFF USE ONLY:

CASE NO. _____	APPLICATION DATE AND TIME _____
PERMIT NO. _____	FEE \$ _____
P&Z HEARING DATE _____	REVIEWED BY: _____
RECOMMENDATION: APPROVAL	DISAPPROVAL

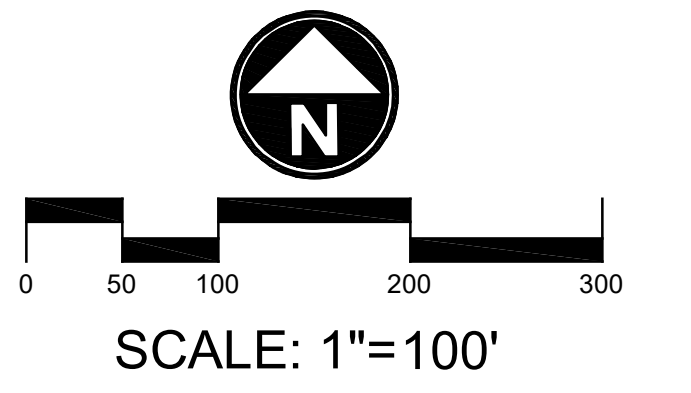


SYMBOL LEGEND

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- SANITARY SEWER MANHOLE
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LINE LEGEND

-
- WATER LINE
- EXISTING CONTOUR
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- TERMINAL POINT ON ROW
- INDICATES THAT PORTION OF THE 33' COUNTY ROW EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.



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AC	ALUMINUM CAP
BC	BRASS CAP
BK	BOOK
BOB	BASIS OF BEARING
CL	CENTER LINE
DKT	DOCKET
FND	FOUND MONUMENT
GLO	GENERAL LAND OFFICE
IP	IRON PIPE
LSE	LANDSCAPE EASEMENT
LS#####	LAND SURVEYORS REGISTRATION No.
(M)	MEASURED BEARING OR DISTANCE
MOL	MORE OR LESS
NO ID	NO IDENTIFICATION, (NO LS No.)
(NR)	INDICATES LINE IS NOT RADIAL TO CURVE
NTS	NOT TO SCALE
PCR	PINAL COUNTY RECORDER
PG	PAGE
PCHD	PINAL COUNTY HIGHWAY DEPARTMENT
POB	POINT OF BEGINNING
PUFE	PUBLIC UTILITY FACILITY EASEMENT/ DRAINAGE EASEMENT
R # E	RANGE LINE No. EAST
(R)	RECORD BEARING OR DISTANCE
(RB)	RADIAL BEARING
ROW	RIGHT OF WAY
SEC #	SECTION No.
SDE	STORM DRAIN EASEMENT
SSE	SANITARY SEWER EASEMENT
TOF	TOWN OF FLORENCE
T # S	TOWNSHIP LINE No. SOUTH
UON	UNLESS OTHERWISE NOTED
UVT	UNOBSTRUCTED VIEW TRIANGLE
VNAE	VEHICULAR NON-ACCESS EASEMENT
WE	WATERLINE EASEMENT
WME	WALL MAINTENANCE EASEMENT

LEGAL DESCRIPTION

A PARCEL OF LAND LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 18, THE NORTHWEST QUARTER OF SECTION 19 AND THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 9 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

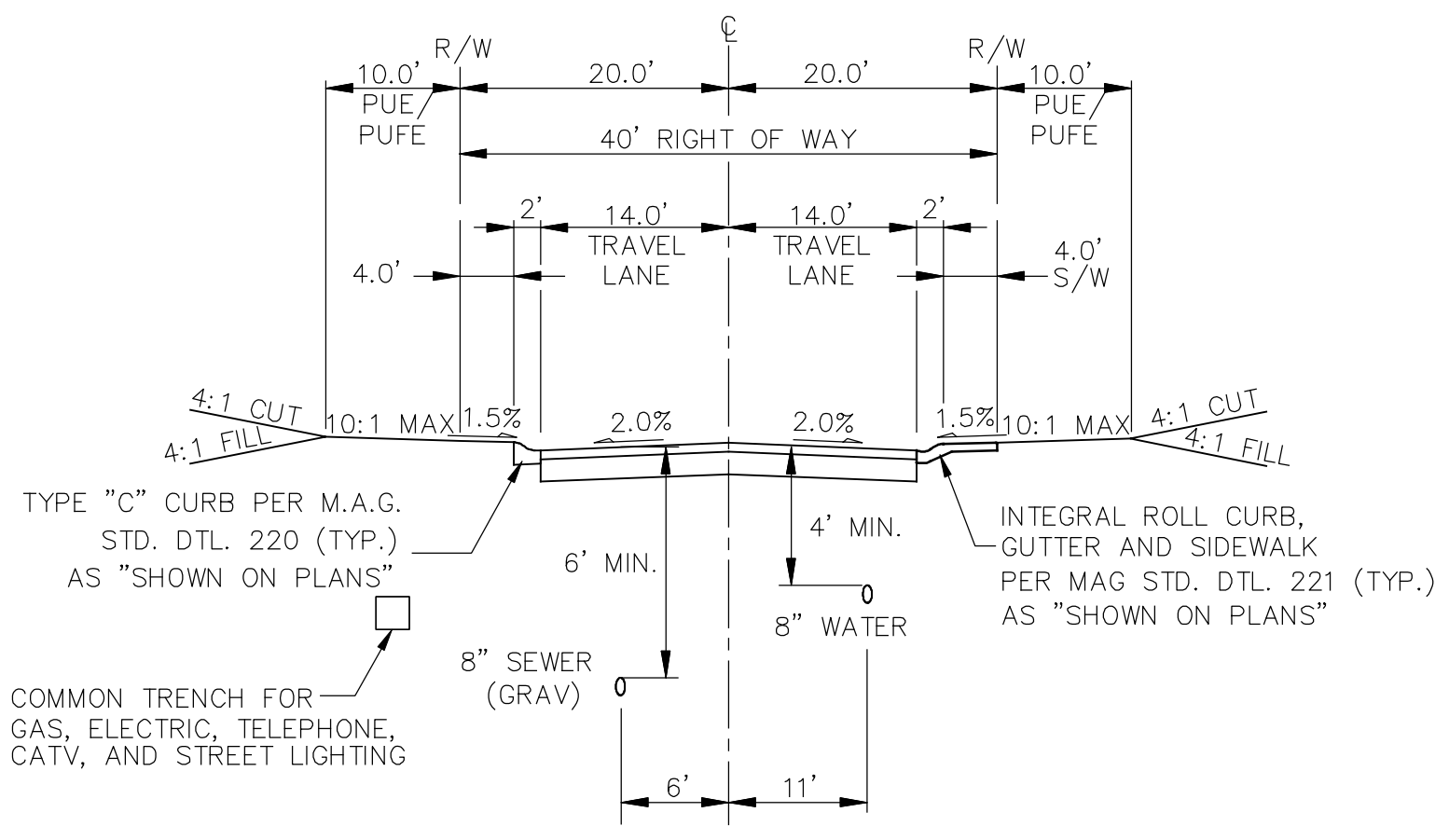
COMMENCING AT THE NORTHWEST CORNER OF SECTION 20 (3" ALUMINUM CAP, NO ID, FOUND) FROM WHICH THE NORTH QUARTER CORNER OF SECTION 20 (1-1/2" ALUMINUM CAP, NO ID, FOUND) BEARS NORTH 89 DEGREES 57 MINUTES 31 SECONDS EAST (BASIS OF BEARING), A DISTANCE OF 2634.19 FEET AND THE WEST QUARTER CORNER OF SECTION 20 (1/2" REBAR, NO ID, FOUND) BEARS SOUTH 00 DEGREES 15 MINUTES 55 SECONDS EAST, A DISTANCE OF 2644.14 FEET;

THENCE SOUTH 00 DEGREES 15 MINUTES 55 SECONDS EAST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 20, A DISTANCE OF 1221.81 FEET, TO A POINT FROM WHICH THE WEST QUARTER CORNER OF SECTION 20 BEARS SOUTH 00 DEGREES 15 MINUTES 55 SECONDS EAST A DISTANCE OF 1422.33 FEET, SAID POINT BEING THE POINT OF BEGINNING;

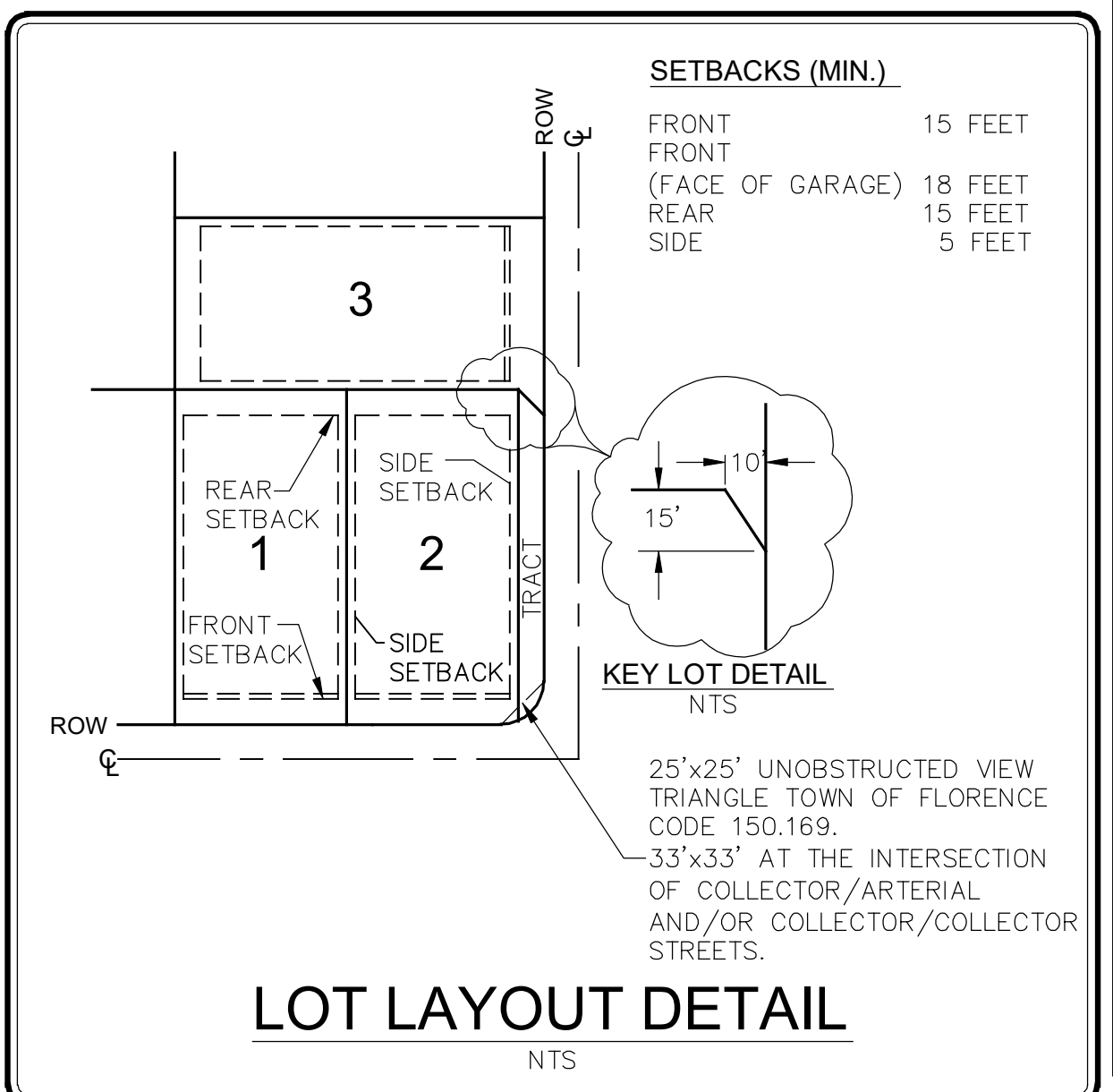
THENCE, NORTH 38 DEGREES 16 MINUTES 09 SECONDS WEST, A DISTANCE OF 579.36 FEET;
 THENCE, NORTH 66 DEGREES 18 MINUTES 45 SECONDS WEST, A DISTANCE OF 748.82 FEET;
 THENCE, NORTH 87 DEGREES 16 MINUTES 24 SECONDS WEST, A DISTANCE OF 755.20 FEET;
 THENCE, NORTH 11 DEGREES 14 MINUTES 09 SECONDS EAST, A DISTANCE OF 232.95 FEET;
 THENCE, NORTH 53 DEGREES 51 MINUTES 42 SECONDS EAST, A DISTANCE OF 405.03 FEET;
 THENCE, NORTH 56 DEGREES 49 MINUTES 24 SECONDS EAST, A DISTANCE OF 271.30 FEET;
 THENCE, SOUTH 36 DEGREES 53 MINUTES 18 SECONDS EAST, A DISTANCE OF 337.98 FEET;
 THENCE, NORTH 53 DEGREES 06 MINUTES 42 SECONDS EAST, A DISTANCE OF 10.98 FEET;
 THENCE, SOUTH 40 DEGREES 28 MINUTES 17 SECONDS EAST, A DISTANCE OF 47.05 FEET;
 THENCE, NORTH 49 DEGREES 31 MINUTES 43 SECONDS EAST, A DISTANCE OF 107.54 FEET;
 THENCE, SOUTH 40 DEGREES 28 MINUTES 17 SECONDS EAST, A DISTANCE OF 119.84 FEET;
 THENCE, SOUTH 72 DEGREES 36 MINUTES 04 SECONDS EAST, A DISTANCE OF 466.80 FEET;
 THENCE, SOUTH 83 DEGREES 55 MINUTES 57 SECONDS EAST, A DISTANCE OF 170.51 FEET;
 THENCE, SOUTH 81 DEGREES 33 MINUTES 00 SECONDS EAST, A DISTANCE OF 50.00 FEET;

THENCE, SOUTHERLY AN ARC DISTANCE OF 48.95 FEET ALONG A NON-TANGENT CURVE TO THE RIGHT, THE RADIUS POINT BEARS NORTH 81 DEGREES 33 MINUTES 00 SECONDS WEST, A DISTANCE OF 270.00 FEET HAVING AN INCLUDED ANGLE OF 10 DEGREES 23 MINUTES 14 SECONDS;
 THENCE, SOUTH 59 DEGREES 41 MINUTES 09 SECONDS EAST, A DISTANCE OF 148.60 FEET;
 THENCE, SOUTH 45 DEGREES 11 MINUTES 52 SECONDS EAST, A DISTANCE OF 196.13 FEET;
 THENCE, SOUTH 27 DEGREES 47 MINUTES 53 SECONDS EAST, A DISTANCE OF 185.41 FEET;
 THENCE, NORTH 63 DEGREES 00 MINUTES 56 SECONDS EAST, A DISTANCE OF 50.31 FEET;
 THENCE, SOUTHERLY AN ARC DISTANCE OF 43.55 FEET ALONG A NON-TANGENT CURVE TO THE LEFT, THE RADIUS POINT BEARS NORTH 63 DEGREES 00 MINUTES 56 SECONDS EAST, A DISTANCE OF 3067.50 FEET HAVING AN INCLUDED ANGLE OF 00 DEGREES 48 MINUTES 49 SECONDS;
 THENCE, SOUTH 27 DEGREES 47 MINUTES 53 SECONDS EAST, A DISTANCE OF 181.73 FEET;
 THENCE, SOUTH 62 DEGREES 12 MINUTES 07 SECONDS WEST, A DISTANCE OF 205.00 FEET;
 THENCE, SOUTH 27 DEGREES 47 MINUTES 53 SECONDS EAST, A DISTANCE OF 29.57 FEET;
 THENCE, SOUTH 62 DEGREES 12 MINUTES 07 SECONDS WEST, A DISTANCE OF 115.00 FEET;
 THENCE, SOUTH 27 DEGREES 47 MINUTES 53 SECONDS EAST, A DISTANCE OF 86.34 FEET;
 THENCE, SOUTH 62 DEGREES 12 MINUTES 07 SECONDS WEST, A DISTANCE OF 146.84 FEET TO THE POINT OF BEGINNING.

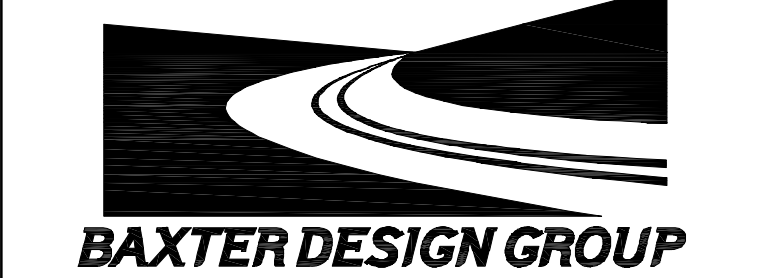
CONTAINING 23.6310 ACRES, MORE OR LESS.



LOCAL STREET
(LOOKING NORTH AND EAST)
NTS



LOT LAYOUT DETAIL
NTS



DATE:	NOVEMBER 16, 2016
DESIGNED BY:	BDG
DRAWN BY:	STS
REVIEWED BY:	JWW
PROJECT:	
ISSUE:	PRELIMINARY PLAT



REVISIONS:	

PULTE GROUP
ANTHEM AT MERRILL RANCH
PRELIMINARY PLAT UNIT 56A
SITUATED WITHIN THE SOUTHEAST QUARTER OF SECTION 18, THE NORTHWEST QUARTER SECTION 19 AND THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 9 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 56A
INDEX MAP
SHEET 2 OF 6

path: E:\P&E\ANR\UNITS\UNIT 56-AMR\14-PLAN\Cal Drawing.dwg
file name: 742 AMR UNIT 56A PP.dwg | plot date: November 16, 2016 | plotted by: scandor

VERSION 2

N89°57'31"E (BASIS OF BEARING) 2634.19'

NORTHWEST CORNER SECTION 20
3" ALUMINUM CAP, NO ID FOUND

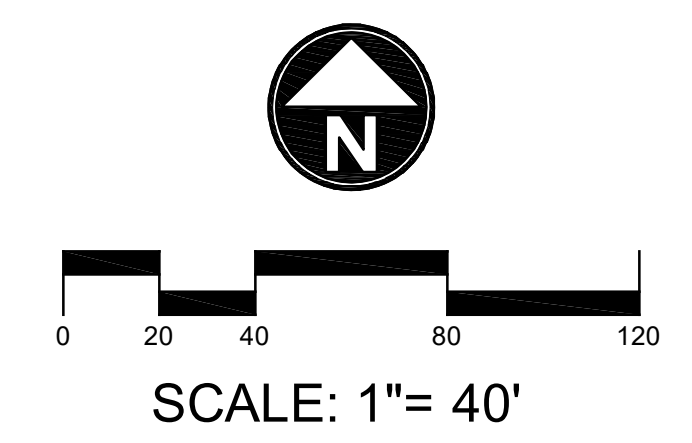
NORTH 1/4 CORNER SECTION 20
1-1/2" ALUM. CAP, NO ID FOUND

SYMBOL LEGEND

- SECTION CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- CENTERLINE MONUMENT, TO BE SET AT TIME OF CONSTRUCTION, (UNLESS NOTED OTHERWISE)
- IRON PIPE, (AS NOTED)
- USGS SURVEY MONUMENT, (AS NOTED)
- SANITARY SEWER MANHOLE
- FIRE HYDRANT WITH REFLECTOR
- HANDICAP RAMP
- STREET W/ DIRECTION OF FLOW, UON

LINE LEGEND

- 8" SANITARY SEWER W/ DIRECTION OF FLOW, UON
- WATER LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- BREAK LINE
- CENTERLINE OF ROADWAY
- EASEMENT LINE
- PLAT BOUNDARY
- PROPERTY LINE
- ROW
- SECTION LINE
- SECTION TIES
- TERMINAL POINT ON ROW INDICATES THAT PORTION OF THE 33' COUNTY ROW EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.



ABBREVIATIONS

- (AC) ACRE
- AL AC ALUMINUM CAP
- BR BC BRASS CAP
- BOOK BK
- BASIS OF BEARING BOB
- CENTER LINE C
- DOCKET FND
- FOUND MONUMENT GLO
- GENERAL LAND OFFICE IP
- IRON PIPE
- LANDSCAPE EASEMENT LSE
- LAND SURVEYORS REGISTRATION No. LS#####
- MEASURED BEARING OR DISTANCE (M)
- MORE OR LESS MOL
- NO IDENTIFICATION, (NO LS No.) NO ID
- INDICATES LINE IS NOT RADIAL TO CURVE (NR)
- NOT TO SCALE NTS
- PINAL COUNTY RECORDER PCR
- PAGE PG
- PINAL COUNTY HIGHWAY DEPARTMENT PCHD
- POINT OF BEGINNING POB
- PUBLIC UTILITY FACILITY EASEMENT/ DRAINAGE EASEMENT PUF
- RANGE LINE No. EAST R # E
- RECORD BEARING OR DISTANCE (R)
- RIGHT BEARING (RB)
- RIGHT OF WAY ROW
- SECTION No. SEC #
- STORM DRAIN EASEMENT SDE
- SANITARY SEWER EASEMENT SSE
- TOWN OF FLORENCE TOF
- TOWNSHIP LINE No. SOUTH T # S
- UNLESS OTHERWISE NOTED UON
- UNOBSTRUCTED VIEW TRIANGLE UVT
- VEHICULAR NON-ACCESS EASEMENT VNAE
- WATERLINE EASEMENT WE
- WALL MAINTENANCE EASEMENT WME



DATE: NOVEMBER 16, 2016
 DESIGNED BY: BDG
 DRAWN BY: STS
 REVIEWED BY: JWW
 PROJECT:
 ISSUE: PRELIMINARY PLAT



REVISIONS:

NO.	DATE	DESCRIPTION

PULTE GROUP
ANTHEM AT MERRILL RANCH
PRELIMINARY PLAT UNIT 56A
 SITUATED WITHIN THE SOUTHEAST QUARTER OF SECTION 18, THE NORTHEAST QUARTER SECTION 19 AND THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 9 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 56A
LAYOUT SHEET
SHEET 3 OF 6

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	43.23'	620.00'	3°59'43"	21.63'
C2	54.71'	620.00'	5°03'22"	27.37'
C3	54.71'	620.00'	5°03'22"	27.37'
C4	54.71'	620.00'	5°03'22"	27.37'
C5	54.71'	620.00'	5°03'22"	27.37'
C6	54.71'	620.00'	5°03'22"	27.37'
C7	1.33'	580.00'	0°07'53"	0.67'
C8	77.75'	580.00'	7°40'50"	38.93'
C9	77.75'	580.00'	7°40'50"	38.93'
C10	77.75'	580.00'	7°40'50"	38.93'
C11	77.75'	580.00'	7°40'50"	38.93'
C12	43.84'	3087.50'	0°48'49"	21.92'
C13	44.12'	3107.50'	0°48'49"	22.06'
C14	42.59'	3000.00'	0°48'49"	21.30'

path: E:\42-AMR\UNITS\UNIT 56A\UNIT 56A-AMR\14-PLAT\Cal Drawing.dwg
 file name: 742 AMR UNIT 56A PP.dwg | plot date: November 16, 2016 | plotted by: scandor

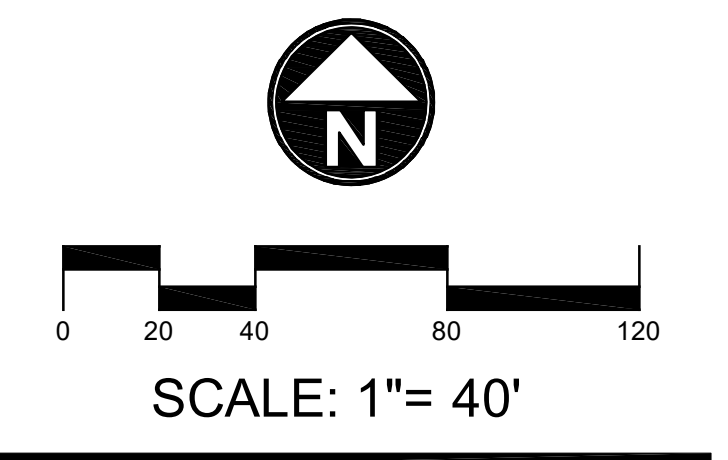


VERSION 2



- ### SYMBOL LEGEND
- SECTION CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
 - QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
 - CENTERLINE MONUMENT, TO BE SET AT TIME OF CONSTRUCTION, (UNLESS NOTED OTHERWISE)
 - 1/2" REBAR & CAP, RLS 21065 TO BE SET, (UNLESS NOTED OTHERWISE)
 - IRON PIPE, (AS NOTED)
 - USGS SURVEY MONUMENT, (AS NOTED)
 - SANITARY SEWER MANHOLE
 - FIRE HYDRANT WITH 4" REFLECTOR
 - HANDICAP RAMP
 - STREET W/ DIRECTION OF FLOW, UON

- ### LINE LEGEND
- 8" SANITARY SEWER W/ DIRECTION OF FLOW, UON
 - WATER LINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - BREAK LINE
 - CENTERLINE OF ROADWAY
 - EASEMENT LINE
 - PLAT BOUNDARY
 - PROPERTY LINE
 - ROW
 - SECTION LINE
 - SECTION TIES
 - TERMINAL POINT ON ROW INDICATES THAT PORTION OF THE 33' COUNTY ROW EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.



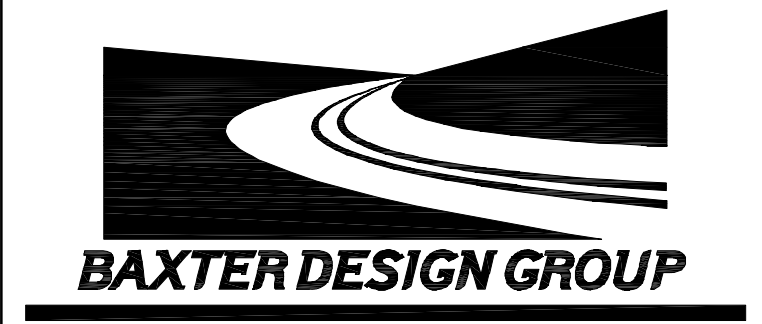
- ### ABBREVIATIONS
- (AC) ACRE
 - AC ALUMINUM CAP
 - BC BRASS CAP
 - BK BOOK
 - BOB BASIS OF BEARING
 - € CENTER LINE
 - DKT DOCKET
 - FND FOUND MONUMENT
 - GLO GENERAL LAND OFFICE
 - IP IRON PIPE
 - LSE LANDSCAPE EASEMENT
 - LS##### LAND SURVEYORS REGISTRATION No.
 - (M) MEASURED BEARING OR DISTANCE
 - MOL MORE OR LESS
 - NO ID NO IDENTIFICATION, (NO LS No.)
 - (NR) INDICATES LINE IS NOT RADIAL TO CURVE
 - NTS NOT TO SCALE
 - PCR PINAL COUNTY RECORDER
 - PG PAGE
 - PCHD PINAL COUNTY HIGHWAY DEPARTMENT
 - POB POINT OF BEGINNING
 - PUFE PUBLIC UTILITY FACILITY EASEMENT/ DRAINAGE EASEMENT
 - R # E RANGE LINE No. EAST
 - (R) RECORD BEARING OR DISTANCE
 - (RB) RADIAL BEARING
 - ROW RIGHT OF WAY
 - SEC # SECTION No.
 - SDE STORM DRAIN EASEMENT
 - SSE SANITARY SEWER EASEMENT
 - TOF TOWN OF FLORENCE
 - T # S TOWNSHIP LINE No. SOUTH
 - UON UNLESS OTHERWISE NOTED
 - UVT UNOBSTRUCTED VIEW TRIANGLE
 - VNAE VEHICULAR NON-ACCESS EASEMENT
 - WE WATERLINE EASEMENT
 - WME WALL MAINTENANCE EASEMENT

LINE TABLE

LINE	BEARING	DISTANCE
L1	N59°41'09"W	11.62'
L2	S81°33'00"E	10.00'
L3	S68°03'01"E	20.00'
L11	N68°02'57"W	27.59'

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C15	389.41'	600.00'	37°11'10"	201.84'
C16	79.76'	600.00'	7°37'00"	39.94'
C17	359.10'	620.00'	33°11'08"	184.75'
C18	42.30'	620.00'	3°54'33"	21.16'
C19	37.52'	25.00'	85°59'58"	23.31'
C20	14.34'	25.00'	32°52'09"	7.37'
C21	23.18'	25.00'	53°07'48"	12.50'
C22	37.52'	25.00'	85°59'58"	23.31'
C23	23.18'	25.00'	53°07'48"	12.50'
C24	14.34'	25.00'	32°52'09"	7.37'
C25	453.54'	580.00'	44°48'11"	239.08'
C26	77.75'	580.00'	7°40'50"	38.93'
C27	7.37'	580.00'	0°43'42"	3.69'
C28	20.00'	580.00'	1°58'33"	10.00'
C29	7.37'	580.00'	0°43'43"	3.69'
C30	28.70'	580.00'	2°50'08"	14.35'
C31	39.13'	620.00'	3°36'58"	19.57'
C32	37.09'	620.00'	3°25'41"	18.55'
C33	2.04'	620.00'	0°11'17"	1.02'
C34	72.28'	250.00'	18°33'56"	36.39'
C35	66.50'	230.00'	16°33'56"	33.48'
C36	78.06'	270.00'	16°33'56"	39.31'
C37	29.11'	270.00'	6°10'42"	14.57'
C38	112.15'	200.00'	32°07'47"	57.59'
C39	100.94'	180.00'	32°07'47"	51.83'
C40	123.37'	220.00'	32°07'47"	63.35'
C41	17.36'	180.00'	5°31'37"	8.69'
C42	83.58'	180.00'	26°36'10"	42.55'
C43	37.30'	220.00'	9°42'55"	18.70'
C44	59.31'	220.00'	15°26'43"	29.83'



DATE: NOVEMBER 16, 2016
 DESIGNED BY: BDG
 DRAWN BY: STS
 REVIEWED BY: JWW
 PROJECT: ANTHEM AT MERRILL RANCH PRELIMINARY PLAT UNIT 56A
 ISSUE: PRELIMINARY PLAT



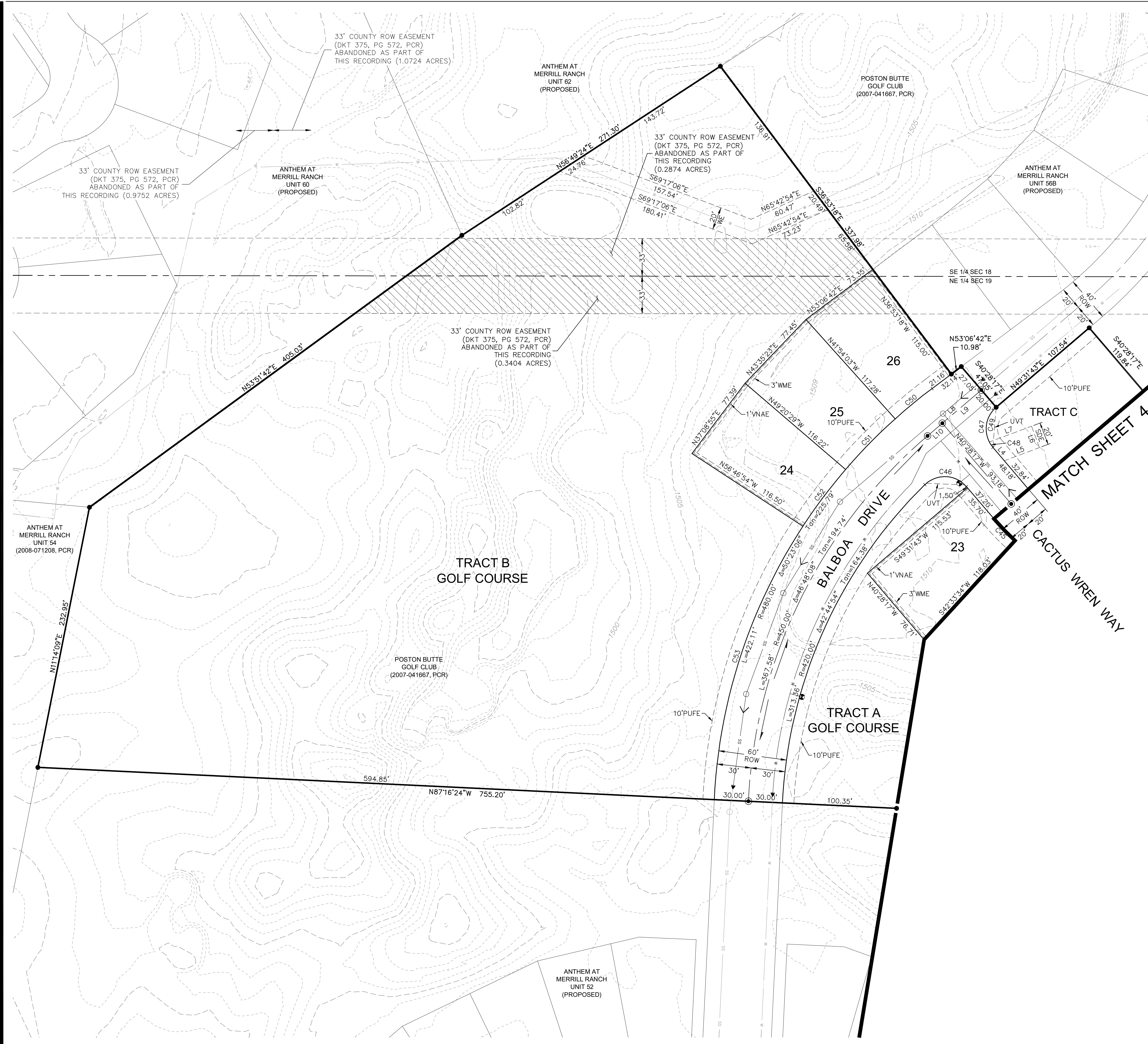
REVISIONS

NO.	DESCRIPTION

PULTE GROUP
ANTHEM AT MERRILL RANCH
PRELIMINARY PLAT UNIT 56A
 SITUATED WITHIN THE SOUTHEAST QUARTER OF SECTION 18, THE NORTHEAST QUARTER SECTION 19 AND THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 9 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 56A
LAYOUT SHEET
SHEET 4 OF 6

VERSION 2

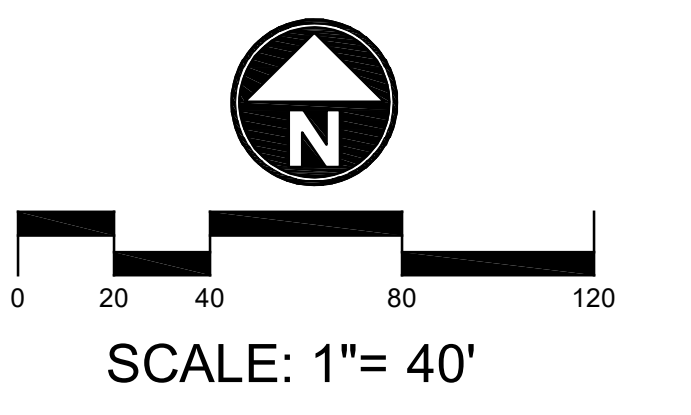


SYMBOL LEGEND

- SECTION CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- CENTERLINE MONUMENT, TO BE SET AT TIME OF CONSTRUCTION, (UNLESS NOTED OTHERWISE)
- REBAR & CAP, RLS 21065 TO BE SET, (UNLESS NOTED OTHERWISE)
- IRON PIPE, (AS NOTED)
- USGS SURVEY MONUMENT, (AS NOTED)
- SANITARY SEWER MANHOLE
- FIRE HYDRANT WITH REFLECTOR
- HANDICAP RAMP
- STREET W/ DIRECTION OF FLOW, UON

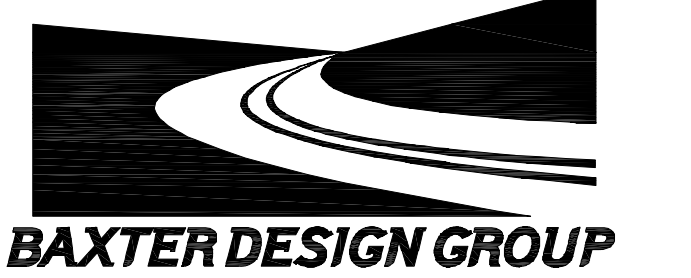
LINE LEGEND

- 8" SANITARY SEWER W/ DIRECTION OF FLOW, UON
- WATER LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- BREAK LINE
- CENTERLINE OF ROADWAY
- EASEMENT LINE
- PLAT BOUNDARY
- PROPERTY LINE
- ROW
- SECTION LINE
- SECTION TIES
- TERMINAL POINT ON ROW INDICATES THAT PORTION OF THE 33' COUNTY ROW EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.



ABBREVIATIONS

- (AC) ACRE
- AL AC ALUMINUM CAP
- BR BC BRASS CAP
- BOOK BK
- BOB BASIS OF BEARING
- CL C CENTER LINE
- DKT DOCKET
- FND FOUND MONUMENT
- GLO GENERAL LAND OFFICE
- IP IRON PIPE
- LSE LANDSCAPE EASEMENT
- LS##### LAND SURVEYORS REGISTRATION No.
- (M) MEASURED BEARING OR DISTANCE
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- (NR) INDICATES LINE IS NOT RADIAL TO CURVE
- NTS NOT TO SCALE
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- POB POINT OF BEGINNING
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- R # E RANGE LINE No. EAST
- (R) RECORD BEARING OR DISTANCE
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- SEC # SECTION No.
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- WME WALL MAINTENANCE EASEMENT



DATE: NOVEMBER 16, 2016
 DESIGNED BY: BDG
 DRAWN BY: STS
 REVIEWED BY: JWJ
 PROJECT:
 ISSUE: PRELIMINARY PLAT



LINE TABLE

LINE	BEARING	DISTANCE
L4	S40°28'17"E	15.35'
L5	N69°31'43"E	33.03'
L6	S20°28'17"E	20.00'
L7	N69°31'43"E	39.61'
L8	N49°31'43"E	62.08'
L9	N49°31'43"E	45.00'
L10	N49°31'43"E	17.08'

CURVE TABLE

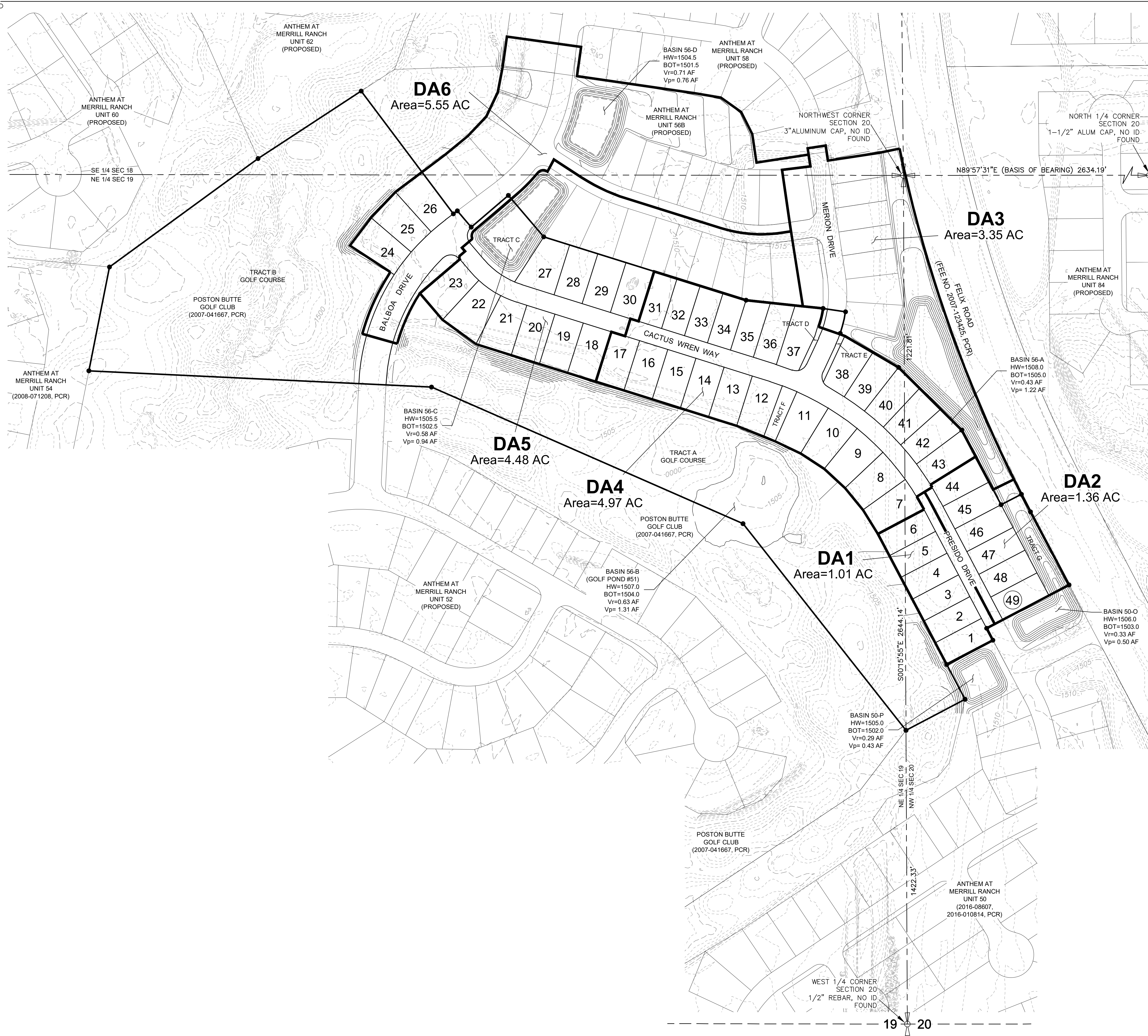
CURVE	LENGTH	RADIUS	DELTA	TANGENT
C45	26.76'	220.00'	6°58'09"	13.40'
C46	41.04'	25.00'	94°03'14"	26.83'
C47	39.27'	25.00'	90°00'00"	25.00'
C48	5.75'	25.00'	13°10'23"	2.89'
C49	33.52'	25.00'	76°49'37"	19.82'
C50	41.99'	480.00'	5°00'45"	21.01'
C51	62.33'	480.00'	7°26'25"	31.21'
C52	62.33'	480.00'	7°26'25"	31.21'
C53	255.45'	480.00'	30°29'30"	130.83'

REVISIONS:

PULTE GROUP
ANTHEM AT MERRILL RANCH
PRELIMINARY PLAT UNIT 56A
 SITUATED WITHIN THE SOUTHWEST QUARTER OF SECTION 18, THE NORTHWEST QUARTER SECTION 19 AND THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 9 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 56A
LAYOUT SHEET
SHEET 5 OF 6

VERSION 2

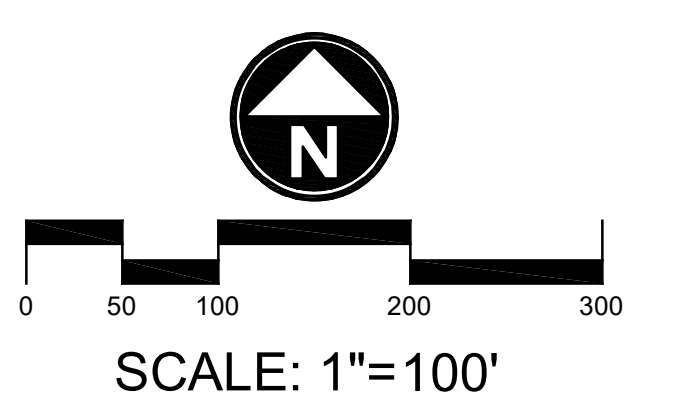


SYMBOL LEGEND

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- QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- CENTERLINE MONUMENT, TO BE SET AT TIME OF CONSTRUCTION, (UNLESS NOTED OTHERWISE)
- 1/2" REBAR & CAP, RLS 21065 TO BE SET, (UNLESS NOTED OTHERWISE)
- IRON PIPE, (AS NOTED)
- USGS SURVEY MONUMENT, (AS NOTED)
- SANITARY SEWER MANHOLE
- FIRE HYDRANT WITH REFLECTOR
- HANDICAP RAMP
- STREET W/ DIRECTION OF FLOW, UON

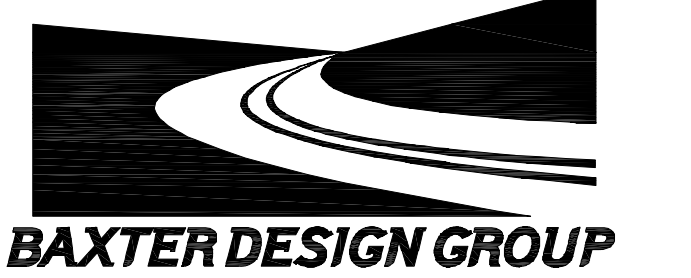
LINE LEGEND

- 8" SANITARY SEWER W/ DIRECTION OF FLOW, UON
- WATER LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- BREAK LINE
- CENTERLINE OF ROADWAY
- EASEMENT LINE
- PLAT BOUNDARY
- PROPERTY LINE
- ROW
- SECTION LINE
- SECTION TIES
- TERMINAL POINT ON ROW INDICATES THAT PORTION OF THE 33' COUNTY ROW EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.



ABBREVIATIONS

(AC)	ACRE
AC	ALUMINUM CAP
BC	BRASS CAP
BK	BOOK
BOB	BASIS OF BEARING
Ⓢ	CENTER LINE
DKT	DOCKET
FND	FOUND MONUMENT
GLO	GENERAL LAND OFFICE
IP	IRON PIPE
LSE	LANDSCAPE EASEMENT
LS#####	LAND SURVEYORS REGISTRATION No.
(M)	MEASURED BEARING OR DISTANCE
MOL	MORE OR LESS
NO ID	NO IDENTIFICATION, (NO LS No.)
(NR)	INDICATES LINE IS NOT RADIAL TO CURVE
NTS	NOT TO SCALE
PCR	PINAL COUNTY RECORDER
PG	PAGE
PCHD	PINAL COUNTY HIGHWAY DEPARTMENT
POB	POINT OF BEGINNING
PUFE	PUBLIC UTILITY FACILITY EASEMENT/ DRAINAGE EASEMENT
R # E	RANGE LINE No. EAST
(R)	RECORD BEARING OR DISTANCE
(RB)	RADIAL BEARING
ROW	RIGHT OF WAY
SEC #	SECTION No.
SDE	STORM DRAIN EASEMENT
SSE	SANITARY SEWER EASEMENT
TOF	TOWN OF FLORENCE
T # S	TOWNSHIP LINE No. SOUTH
UON	UNLESS OTHERWISE NOTED
UVT	UNOBSTRUCTED VIEW TRIANGLE
VNAE	VEHICULAR NON-ACCESS EASEMENT
WE	WATERLINE EASEMENT
WME	WALL MAINTENANCE EASEMENT



DATE: NOVEMBER 16, 2016
 DESIGNED BY: BDG
 DRAWN BY: STS
 REVIEWED BY: JWW
 PROJECT:
 ISSUE: PRELIMINARY PLAT



REVISIONS:

PULTE GROUP
ANTHEM AT MERRILL RANCH
PRELIMINARY PLAT UNIT 56A
 SITUATED WITHIN THE SOUTHEAST QUARTER OF SECTION 18, THE NORTHEAST QUARTER SECTION 19 AND THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 9 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 56A
RETENTION
SHEET 6 OF 6

path: R:\142-AMR\UNITS\UNIT-56-AMR\14-PLAT\CAD\Drawings\ file name: 142-AMR UNIT 56A PP.dwg | plot date: November 16, 2016 | plotted by: scandor

VERSION 2



**Planning and Zoning Commission
Staff Report**

December 15, 2016
Agenda Item (5C)

Project Name: Design Review for Anthem at Merrill Ranch Dog Park
(PZ-16-69)
Prepared By: Will Randolph, Town Planner
Reviewed By: Mark Eckhoff, AICP
Community Development Director

REQUEST:

A Design Review application by Pulte Homes for a proposed Dog Park to be located within the Community Park within the Anthem at Merrill Ranch (AMR) community in Florence, Arizona.

RECOMMENDED MOTION:

Move to approve the Design Review application (PZ-16-69) for the proposed Dog Park, subject to any conditions recommended by the Planning and Zoning Commission.

BACKGROUND/ANALYSIS:

The proposed AMR 98,000 square foot (2.2 acre) Dog Park will be located within the 62 acre Anthem Community Park, which serves as a central gathering place for the entire AMR community. This large park area already includes many amenities and is in close proximity to the major recreational facilities for AMR and the AMR Elementary School. The dog park will have an area for larger dogs and an area for smaller dogs. A third area will allow the fields to be alternated for maintenance purposes. The AMR Community Home Owners Association will own and operate the dog park.

The Dog Park has been thoughtfully and professionally designed to complement the community aesthetic. Hardscape features, canvas shade sails, benches, walls, fencing, fountains, LED lighting, regulatory signage and landscaping are all consistent with the expectations set for this community.

Attractive entry monumentation will provide clear direction into the Dog Park from the existing Community Park parking lot to the north. Pedestrians can access the overall Community Park a variety of ways and two convenient points of access lead directly to the Dog Park area.

Grading and retention will be done in accordance with Town codes and the subject site will have primary retention basins in the southwest areas of the site. Existing retention basins currently exist between the site and the existing school to the south, and west of the proposed site. Surface retention basins will include attractive landscaping to aid in the appeal of the property to the automobile and pedestrian users along Anthem Way and from the school to the south.

FINDINGS

- The proposed Dog Park is in compliance with the Anthem at Merrill Ranch PUD Design Guidelines.
- The proposed Dog Park meets all applicable Town codes.
- The proposed Dog Park landscaping and hardscaping fits the context of the Anthem at Merrill Ranch community.

PUBLIC PARTICIPATION:

Under Arizona Revised Statutes, Title 9, Section-462.04. and per the Town of Florence Development Code, a public hearing is not required for a Design Review application.

STAFF RECOMMENDATION:

Staff finds the request is in compliance with the AMR PUD and is in keeping with the character established for this area. Therefore, staff hereby recommends approval of the Design Review application for Anthem at Merrill Ranch Dog Park (PZ-16-69), subject to the following conditions:

1. Design Review approval shall expire in one year from this approval (December 15, 2016) if a building permit is not issued for the subject construction within said period.
2. Project shall comply with all applicable AMR PUD requirements, including all applicable building, fire and engineering codes.

3. Any exterior lighting on the property and on the buildings shall be in compliance with applicable light control restrictions.
4. All utility boxes, back-flow preventers and similar equipment shall be painted to match the surrounding buildings.
5. Project to comply with applicable ADA requirements, which may include the necessity of designating convenient ADA compliant parking spaces in proximity to the Dog Park.
6. Compliance with this Design Review approval shall be required prior to issuance of Final Certificate of Occupancy.
7. Any additional conditions deemed necessary by the Planning and Zoning Commission.

APPLICATION FOR DESIGN REVIEW

PROJECT NAME: ANTHEM COMMUNITY DOG PARK

APPLICATION TYPE: Minor (< 5 acres) Major (>5 acres)
 Signage

1. Property Owner: Name: ANTHEM @ MERRILL RANCH COMMUNITY COUNCIL
Address: 1600 W. BROADWAY RD STE 200
TEMPE, AZ 85282
Phone: _____ Fax: _____
Email: _____

2. Applicant/Developer: Name: PULTE HOMES
Address: 16767 N. PERIMETER DR. SUITE 100
SCOTTSDALE, AZ 85260
Phone: 480 365-8601 Fax: _____
Email: RYAN.BETTES@PULTE.COM

3. Address or Location of Property: SEC OF MERRILL RANCH PKWY &
ANTHEM WAY

Tax Parcel Numbers: 211030040

Gross Acres: 62.06 Net Acres: 2 Current Zoning District: _____

4. Describe project in detail: CONSTRUCT DOG PARK FOR THE COMMUNITY
@ THE EXISTING COMMUNITY PARK BY THE EXISTING PARKING LOT
& SCHOOL PARK WILL CONSIST OF 3 GRASS AREAS WITH FENCING,
SEATING, SHADE & LIGHTS.

Randy Clark V.P. 11-14-16
SIGNATURE OF PROPERTY OWNER or REPRESENTATIVE DATE

FOR STAFF USE ONLY:

CASE NO. <u>PZ-16-69</u>	APPLICATION DATE AND TIME _____
PERMIT NO. _____	FEE \$ <u>\$422.00</u>
PZC HEARING DATE _____	REVIEWED BY: _____



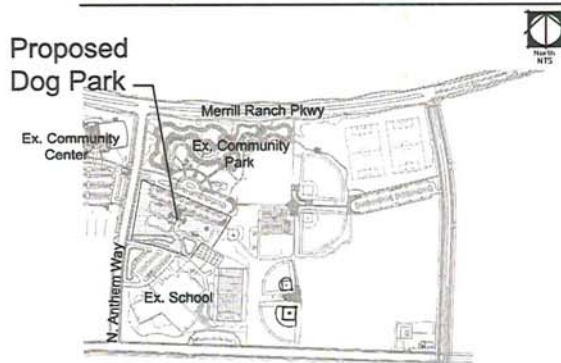
COMMUNITY DOG PARK

anthem

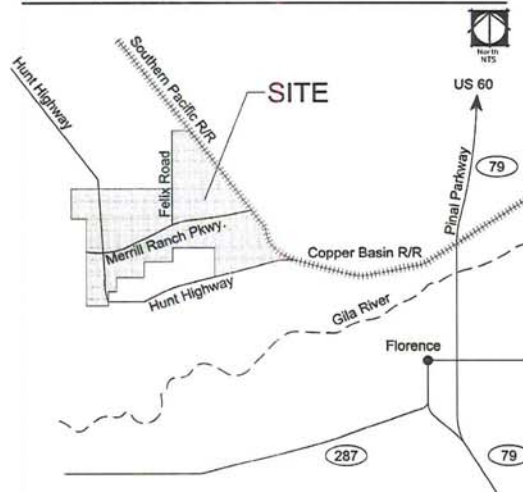
@ MERRILL RANCH
FLORENCE, ARIZONA

DESIGN REVIEW PACKET

key map



vicinity map



project information

Owner / Developer

PULTE HOMES
18767 North Perimeter Drive
Suite 100
Scottsdale, Arizona 85260
Contact: Randy Christian
Tel: (480) 391-6027
randy.christian@pultehome.com

Civil Engineer

BAXTER DESIGN GROUP, LLC
7350 North Dobson Road
Suite 200
Scottsdale, Arizona 85256
Contact: Jared Baxter
Tel: (480) 818-6001
jbaxter@baxterdg.com

Landscape Architect

COLLECTIV LANDSCAPE ARCHITECTS
1428 North 2nd Street
Suite 200
Phoenix, Arizona 85004
Contact: Ryan Voss
Tel: (602) 358-7711
ryann@collectivla.com

Maintenance Responsibility

All landscape areas and materials, including those located in public right-of-way shall be maintained in a healthy, neat, clean, and weed-free condition. This shall be the responsibility of the Homeowner's Association.

Payment Schedule

Work within this contract allows the owner to make payment within 30 days after certification and approval of billings and estimates. This contract allows the owner to certify and approve billings and estimates within 30 days after the billings and estimates are received from the contractor.

Total Landscape Area 98,000 sq. ft.
R.O.W. Landscape Area 0 sq. ft.

Sheet Index

sheet no.	sheet description
1	cover sheet
2	overall site plan
3	enlargement plan
4	site details (sign wall)
5	site details
6	planting plan
7	irrigation plan
8	site grading plan
9	site grading plan
10	site lighting
11	site lighting
12	site lighting

EX. DRIVEWAY

EXISTING PARKING LOT

DOG PARK LAYOUT, BASED UPON CENTERLINE OF PARKING LOT (BETWEEN MEDIANS)

EXISTING CONCRETE PLAZA, EXAMPLE CONCRETE TO MATCH

CONTRACTOR TO FIELD LOCATE ALL EXISTING UTILITY INFRASTRUCTURE PRIOR TO BEGINNING WORK, ANTICIPATED UTILITIES ON THIS SITE:
- RECLAIMED IRRIGATION WATER STUB
- EXISTING POTABLE WATER STUB
- EXISTING ELECTRICAL LINES.

EXISTING ELECTRICAL CABINETS, FIELD LOCATE DOG PARK FENCING OUTSIDE OF SETBACKS AS SHOWN.

SEE SITE ENLARGEMENT (NEXT SHEET)

2' EXPOSED AGGREGATE OUTLINES SMOOTH, CONTINUOUS ARCHED CONNECTION TO EXISTING CONCRETE.

EXISTING S/W (TO REMAIN)

EXISTING S/W (TO REMAIN)

EXISTING TREES AND VEGETATION (TO REMAIN)

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LINE OF WORK (SCHOOL P/I)

EXISTING RETENTION AND VEGETATION (TO REMAIN)

PROPOSED RETENTION (PER GRADING PLANS)

LIGHTING, PER ELECTRICAL PLANS

LIGHTING, PER ELECTRICAL PLANS

EXISTING RETENTION AND VEGETATION (TO REMAIN)

EXISTING BASKETBALL COURTS (SCHOOL)

EXISTING SCHOOL CAMPUS

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EQUIPMENT LEGEND (TOTAL FOR ENTIRE DOG PARK)

Qty	Item	Description	Model	Color	Manufacturer	Remarks
1	Trash Receptacle	30 gallon side open - grass pattern	Lakeside	Buttercup	Landscapeforms	Surface Mt. per Manuf. Specs
11	Park Bench	67" Fence Backed - In Ground Mount - Ice Wood	Lakeside	Grass Frame	Landscapeforms	See Detail D.5 for mount
5	Pet Waste Facility	Pole Mounted w/ Trash Receptacle	Modern Kit	Green	PetPickups.com	See Detail B.5
3	Pet Water Fountain	Surface Mounted w/ optional hidden hose bib	300 SMSS	Blue	MDF, Inc.	See Detail C.5
2 sets	Shade Sails	8 total poles, see shop drawings	Custom	Red and Blue	USA Shade - Jeff Strasser	Per separate shop drawings
1	Faux Fire Hydrant	Mounted to below grade 12" x 12" Concrete Flg.	Fire Hydrant	Firehouse Red	Dog-On-It-Parks.com	-
2	Bike Racks	Surface mount	Emerson	Stormcloud	Landscapeforms	Surface Mt. per Manuf. Specs

GENERAL CONSTRUCTION NOTES

GRADING

- LANDSCAPE CONTRACTOR SHALL REVIEW ALL LANDSCAPE AREAS WITH OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK, IDENTIFY AND RESOLVE DISCREPANCIES IN SITE.
- LANDSCAPE CONTRACTOR TO PROVIDE SHAWING AND FINING GRADING TO ELIMINATE POTENTIAL CONFLICTS. PROVIDE SMOOTH TRANSITION BETWEEN ALL LANDSCAPE AND HARDSCAPE AREAS, INCLUDING ADJACENT RAMPS, CURBS AND SIDEWALKS.
- ALL HARDSCAPE FEATURE LAYOUTS TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OR CONSTRUCTION.
- CROSS SLOPE ALL SIDEWALKS 1/2% AVERAGE OR AS INDICATED, TO MAINTAIN POSITIVE SURFACE DRAINAGE. THE MAXIMUM SLOPE SHALL BE 5% (5:1).
- VERIFY CLEAR DRAINAGE THROUGH THE SITE AS ESTABLISHED BY CIVIL ENGINEER.
- REFER TO GENERAL CONSTRUCTION NOTES ON SHEET 2 FOR FURTHER NOTES.
- LANDSCAPE CONTRACTOR TO REVIEW ACTUAL CONDITIONS PRIOR TO INSTALLING LANDSCAPE. SOME ADJUSTMENTS IN PLANT MATERIAL LOCATIONS MAY BE REQUIRED TO MATCH ACTUAL CURRENT CONDITIONS. LANDSCAPE CONTRACTOR TO PROVIDE EQUIPMENT AND LABOR TO COMPLETE GRADING OPERATIONS.
- SPOT GRADES AND CONTOURS SHOWN ARE FINISHED SURFACE ELEVATIONS ONLY. EXCAVATE SURGRADE AS REQUIRED FOR ALL HARDSCAPE AREAS, NAT EQUIPMENT AND FACILITIES. REFER TO DETAILS FOR SPECIFIC SURGRADE REQUIREMENTS.

HARDSCAPE LAYOUT AND SITE FACILITIES

- HARDSCAPE AND STRUCTURES TO BE LOCATED BY A QUALIFIED FIELD SURVEYOR. GAD FILES WILL BE PROVIDED UPON REQUEST FOR LANDSCAPE DIMENSIONS SHOWN ARE FOR REFERENCE ONLY AND TO ILLUSTRATE DESIGN INTENT. CONTRACTOR TO VERIFY ON-SITE CONDITIONS AND LOCATIONS OF SIDEWALK, RAMPS, UTILITIES, ETC. ADJUST LAYOUT TO MATCH ACTUAL SITE CONDITIONS. ADVISE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES FOUND.
- DESIGN AND LAYOUT OF ALL SITE FACILITIES SHOWN ON THESE DOCUMENTS IS SOBBARIC. FIELD VERIFY ACTUAL SITE CONDITIONS ACCORDING TO THE FACILITIES WITH APPROPRIATE ACCESSIBILITY, SAFETY ZONES AND GRADING.
- CONTRACTOR TO BE QUALIFIED TO CROSS-REFERENCE VARIOUS TRADES TO INSURE THAT INSTALLATION MEETS OR EXCEEDS MANUFACTURER'S SPECIFICATIONS. PRIOR TO OWNER APPROVAL, ALL FACILITIES TO BE COMPLETE AND INSTALLED TO OBTAIN CONFORMANCE OF INTENDED USE.
- ALL FACILITIES REQUIRE ONGOING MAINTENANCE. REFER TO MANUFACTURER RECOMMENDATIONS FOR INTENDED SERVICE OR WARRANTY INFORMATION. OWNER IS RESPONSIBLE TO VERIFY THAT A QUALIFIED REPRESENTATIVE PERIODICALLY INSPECTS ALL FACILITIES TO INSURE THAT EQUIPMENT, LANDSCAPE AND SAFETY CONSIDERATIONS ARE MAINTAINED TO CURRENT, UNIVERSALLY APPROVED SAFETY STANDARDS.
- ALL STRUCTURES AND WALLS DRAWN AS VERTICAL AND HORIZONTAL ARE TO BE INSTALLED PLUMB AND LEVEL.

SIDEWALK

- SIDEWALK CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS TO MEET ALL FEDERAL, STATE, AND FEDERAL REQUIREMENTS AND BE CONSISTENT WITH THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING GUIDELINES. CONTRACTOR SHALL COORDINATE SIDEWALK CONSTRUCTION WITH CIVIL ENGINEER'S SITE PLAN. NOTIFY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE OF ANY CONFLICTS, DISCREPANCIES OR EXTREME SLOPE CONDITIONS THAT EXIST WITHIN THE PLAN/LAYOUT.
- ALL WALKS SHALL BE CONCRETE IN WIDTH AS NOTED. SIDEWALK CONSTRUCTION SHALL BE CONSISTENT WITH HANCOCK COUNTY H.A.G. STANDARD DETAIL NO. 220.
- WALKS THAT ARE DESIGNED TO BE CURVILINEAR SHALL HAVE SMOOTH, EVEN RADIIUS. ARCS SHALL INTERSECT FOR LONG CONTINUOUS CURVES. AVOID FLAT SPOTS AND SHORT CURVES.
- SIDEWALKS SHALL HAVE LIGHT BROOM FINISH (UNLESS NOTED OTHERWISE). INTERSECTING WALKS SHALL HAVE 2" OF RADIIUS (MINIMUM) AND CONNECT TO ADJACENT HARDSCAPE AREAS PERPENDICULARLY OR AS SHOWN. THE CURBING OF ALL SIDEWALKS AND CONCRETE HEADERS SHALL BE GRAY FINISHED BY THE CONTRACTOR AND BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE PRIOR TO FORMING. ANY ADJUSTMENTS SPECIFIED SHALL BE PROVIDED AT NO COST TO THE OWNER. FORMWORK SHALL BE APPROVED PRIOR TO INSTALLATION.

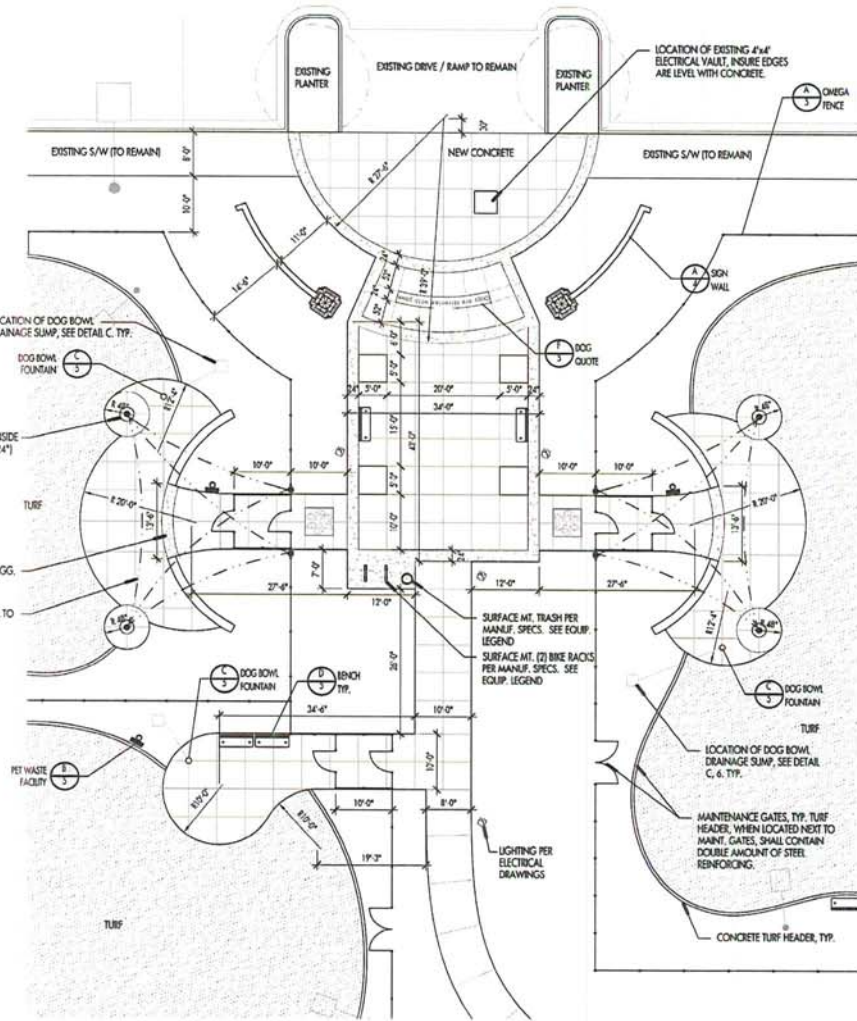
KEY NOTES

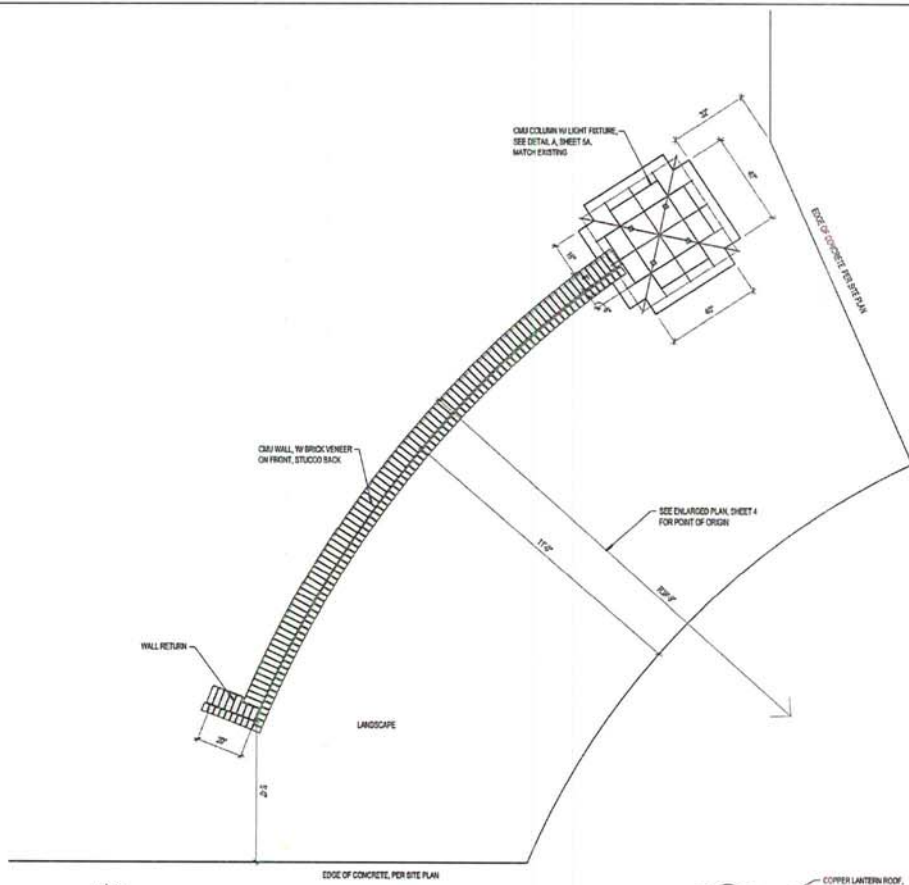
- EXISTING PARKING LOT, MEDIANS AND DRIVEWAY, TO REMAIN UNDISTURBED. DOG PARK LAYOUT BASED UPON CENTERLINE, FIELD LOCATE.
- EXISTING TREES AND PARKING LOT LIGHTS TO REMAIN UNDISTURBED.
- CONTRACTOR TO ACCOUNT FOR 3 EXISTING TREES TO BE REMOVED AT PARK ENTRANCE, FIELD LOCATE AND VERIFY.
- PROPOSED CONCRETE PLAZA, CONNECTING TWO EXISTING CONCRETE SIDEWALKS. SAW CUT EXISTING CONCRETE TO FIT WITH JOISTS AS SHOWN. CONCRETE WORK (8" WIDE EXPOSED AGG. BANDS) TO MATCH CONCRETE AT NORTH PARK ENTRY.
- DOG PARK FENCING, 5' HIGH, SEE DETAIL A, SHEET 5.
- DOUBLE GATES, FOR MAINTENANCE ACCESS. TURF HEADER IN FRONT OF GATES TO RECEIVE DOUBLE REBAR & THICKNESS.
- BOLLARD LIGHTING (TOTAL OF 5) SEE ELECTRICAL PLANS.
- 2" WIDE EXPOSED AGGREGATE BANDS, MATCH CONCRETE FINISH WITH EXISTING CONCRETE PLAZA, (NORTH PARK ENTRY)
- 10' x 10' INITIAL AND SECONDARY GATE ENCLOSURE AREA AS ENTRY INTO INDIVIDUAL DOG PARKS, TYP.
- SANDBLASTED DOG PAW ACCENT PANEL. SANDBLAST INTO STANDARD CONCRETE.
- SANDBLASTED QUOTE INTO STANDARD CONCRETE PANEL, SEE DETAIL F, SHEET 5.
- 8" x 8" LANDSCAPE PLANTER

SHADE SAIL POLE LOCATION, INSIDE OF OPEN CONCRETE COLAR (24") FILL VOID W/ D.G. TYP.

24" WIDE BAND OF EXPOSED AGG. CONCRETE TO ALIGN WITH SEATWALL A.R.C. TYP.

OVERHEAD SHADE SAILS, REFER TO SHOP DRAWINGS, SEPARATE DOCUMENT.



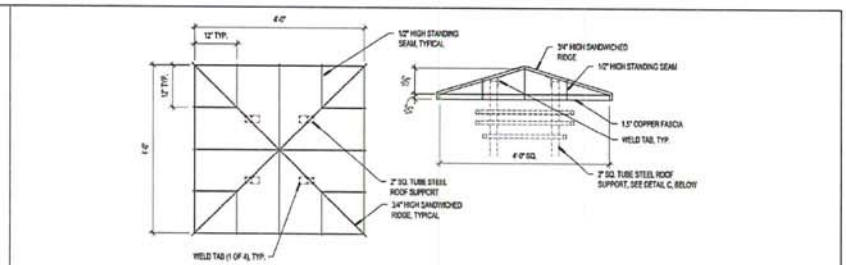


plan
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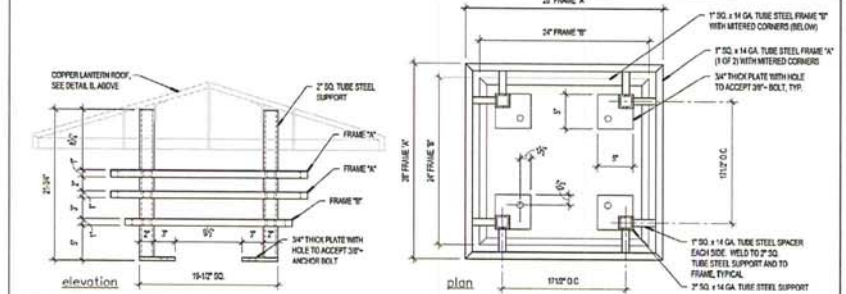


elevation
scale: 1/2"=1'-0"

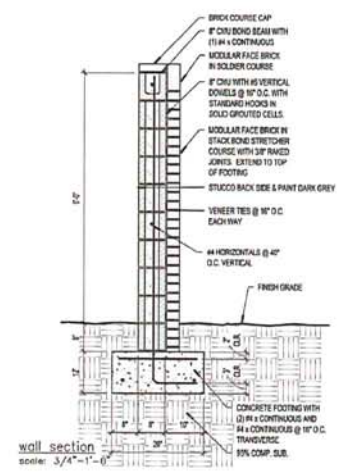
a sign wall
scale: AS NOTED



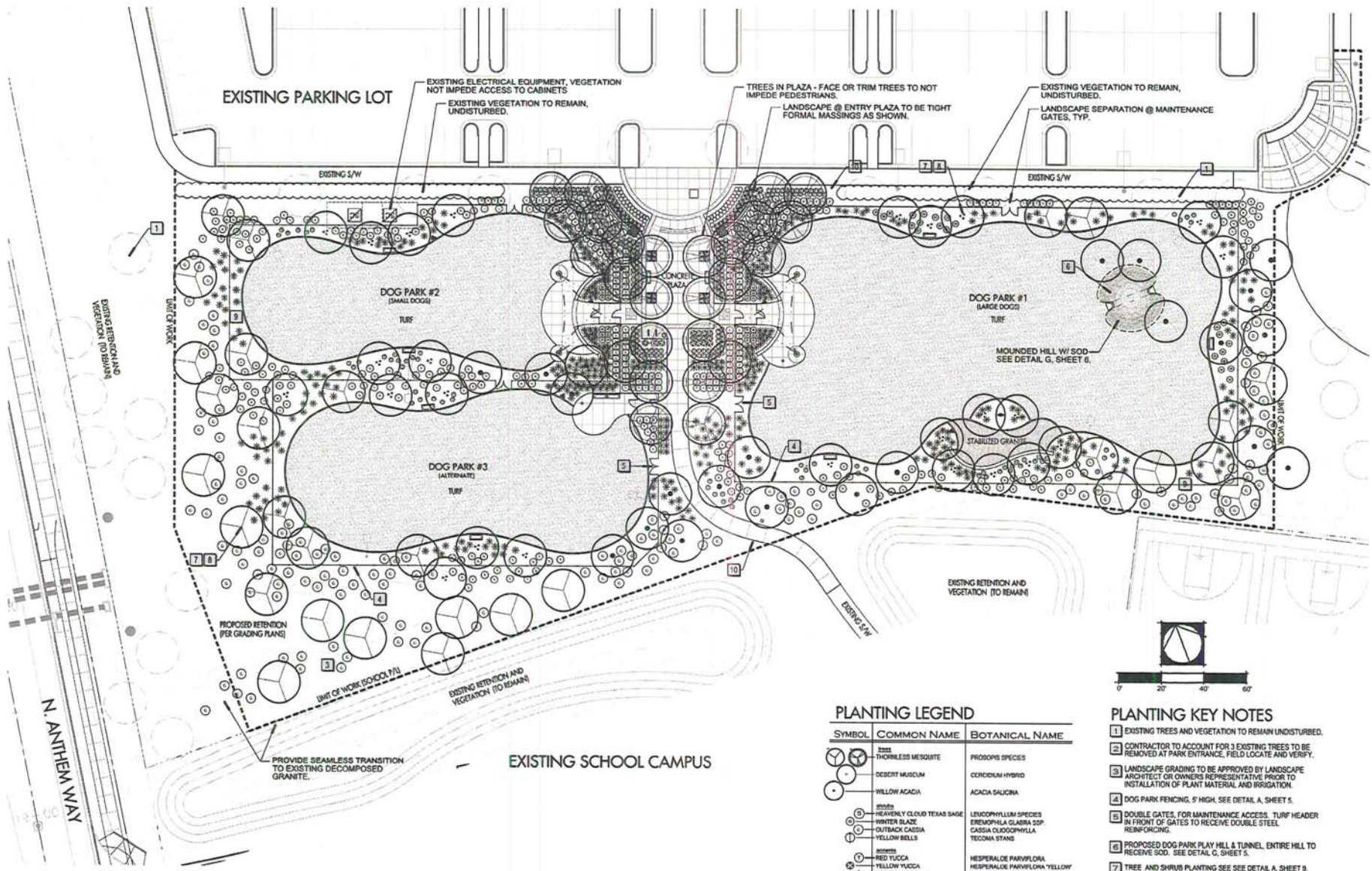
b small copper lantern roof
scale: 3/4"=1'-0"



c small copper lantern roof support
scale: 1 1/2"=1'-0"



wall section
scale: 3/4"=1'-0"



EXISTING PARKING LOT

EXISTING ELECTRICAL EQUIPMENT, VEGETATION NOT IMPEDE ACCESS TO CABINETS
EXISTING VEGETATION TO REMAIN, UNDISTURBED.

TREES IN PLAZA - FACE OR TRIM TREES TO NOT IMPEDE PEDESTRIANS.
LANDSCAPE @ ENTRY PLAZA TO BE TIGHT FORMAL MASSINGS AS SHOWN.

EXISTING VEGETATION TO REMAIN, UNDISTURBED.
LANDSCAPE SEPARATION @ MAINTENANCE GATES, TYP.

DOG PARK #2
(SMALL DOGS)
TURF

DOG PARK #1
(LARGE DOGS)
TURF

DOG PARK #3
(ALTERNATE)
TURF

MOUNDED HILL W/ SOD
SEE DETAIL G, SHEET 6.

EXISTING RETENTION AND VEGETATION (TO REMAIN)

PROPOSED RETENTION (PER GRADING PLANS)

PROVIDE SEAMLESS TRANSITION TO EXISTING DECOMPOSED GRANITE.

EXISTING SCHOOL CAMPUS

N. ANTHEM WAY

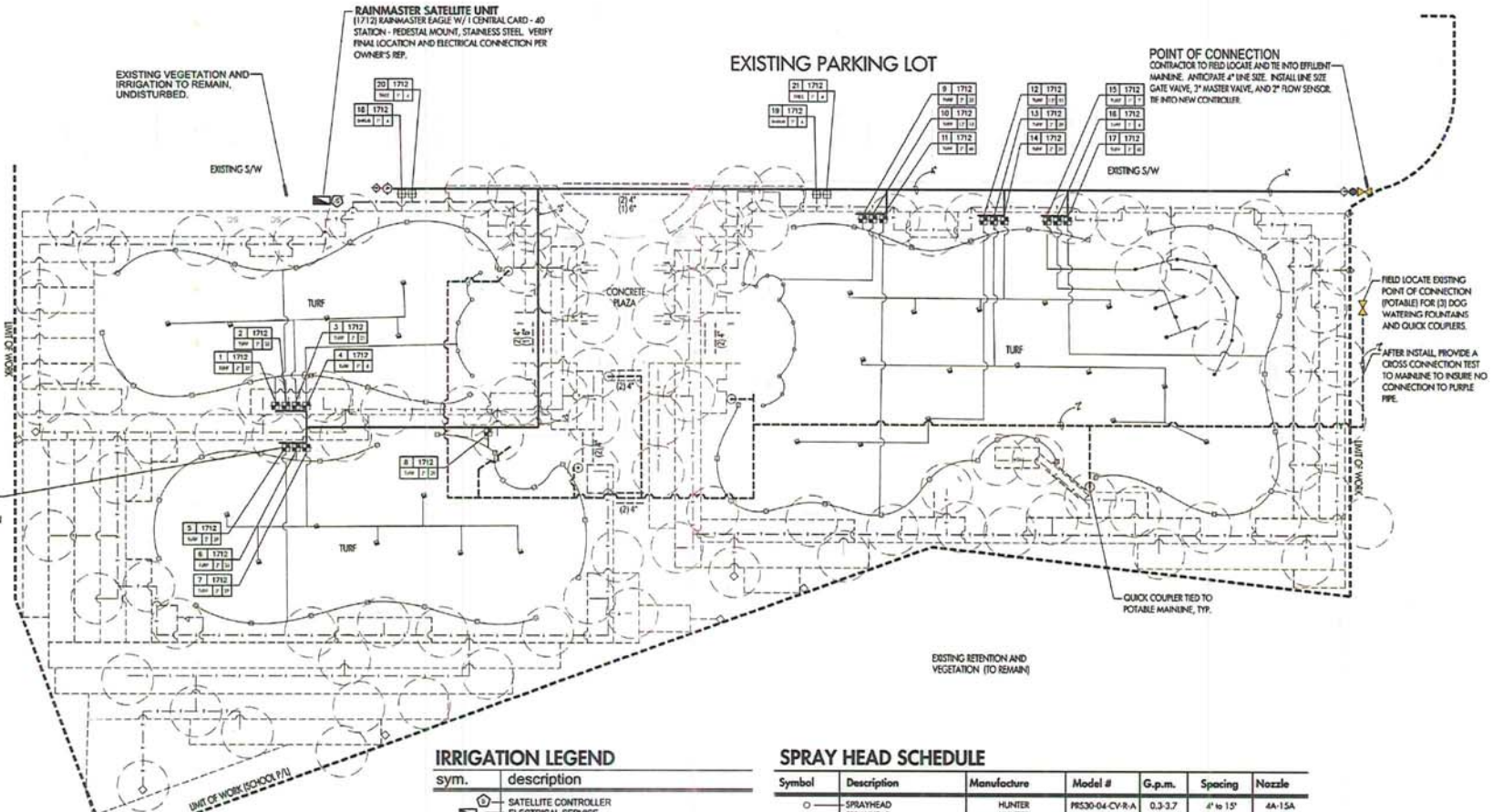
PLANTING LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME
	THORNLESS MESQUITE	PROSOPIA SPECIES
	DESERT MUSEUM	CERCIDILUM HYBRID
	WILLOW ACACIA	ACACIA SALICINA
	HEAVENLY CLOUD TEXAS BAZE	LEUCOPHYLLUM SPECIES
	WINTER BLAZE	EREMOPHILA GLABRA SPP.
	OUTBACK CASSIA	CASSIA OLOGOPHYLLA
	YELLOW BELLS	TECOMA STANS
	RED YUCCA	HESPERALOE PARVIFLORA
	YELLOW YUCCA	HESPERALOE PARVIFLORA 'YELLOW'
	RED TRUMPET VINE	DETICTIS SUCCINATORIA
	NEW GOLD LANTANA	LANTANA SPECIES
	DEER GRASS	MAKINSONIA RICHIEI



PLANTING KEY NOTES

- 1 EXISTING TREES AND VEGETATION TO REMAIN UNDISTURBED.
- 2 CONTRACTOR TO ACCOUNT FOR 3 EXISTING TREES TO BE REMOVED AT PARK ENTRANCE, FIELD LOCATE AND VERIFY.
- 3 LANDSCAPE GRADING TO BE APPROVED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF PLANT MATERIAL AND IRRIGATION.
- 4 DOG PARK FENCING, 9' HIGH, SEE DETAIL A, SHEET 5.
- 5 DOUBLE GATES, FOR MAINTENANCE ACCESS. TURF HEADER IN FRONT OF GATES TO RECEIVE DOUBLE STEEL REINFORCING.
- 6 PROPOSED DOG PARK PLAY HILL & TUNNEL ENTIRE HILL TO RECEIVE SOD. SEE DETAIL G, SHEET 5.
- 7 TREE AND SHRUB PLANTING SEE DETAIL A, SHEET 9.
- 8 DOUBLE STAKE ALL TREES, SEE DETAIL F, SHEET 9.
- 9 2" DEPTH DECOMPOSED GRANITE IN ALL LANDSCAPE AREAS REFER TO DETAIL E, SHEET 9. SEAMLESS TRANSITION TO EXISTING.
- 10 MAINTAIN UNIFORM TOP DRESSING EDGE ALONG ALL WALKS AND CURBS. SEE DETAIL E, SHEET 9.



VALVES AND LATERAL LINES SHOWN FOR GRAPHICAL CLARITY. VERY IMPORTANT TO LOCATE ALL VALVES IN ADJACENT PLANTING AREAS. NO VALVES BOXES IN TURF ARE ALLOWED

FIELD LOCATE EXISTING POINT OF CONNECTION (POTABLE) FOR (3) DOG WATERING FOUNTAINS AND QUICK COUPLERS.
AFTER INSTALL, PROVIDE A CROSS CONNECTION TEST TO MAINLINE TO INSURE NO CONNECTION TO POTABLE PIPE.

NEWER OR HIGHER QUALITY EQUIPMENT

NEW S/W

EXISTING S/W

EXISTING PARKING LOT

POINT OF CONNECTION CONTRACTOR TO FIELD LOCATE AND TIE IN TO EFFLUENT MAINLINE. ANCHOR 4" IN SIZE. INSTALL LINE SIZE GATE VALVE, 3" MASTER VALVE, AND 2" FLOW SENSOR. TIE INTO NEW CONTROLLER.

EXISTING S/W

QUICK COUPLER TIED TO POTABLE MAINLINE, TYP.

EXISTING RETENTION AND VEGETATION (TO REMAIN)

UNIT OF WORK (SCHEDULE P/U)
EXISTING RETENTION AND VEGETATION (TO REMAIN)

N. ANTHEM WAY

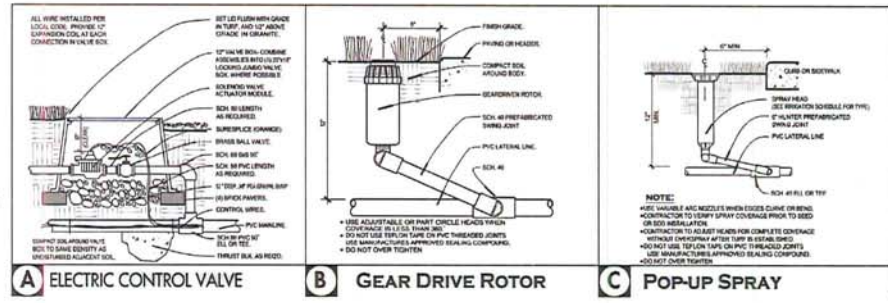


IRRIGATION LEGEND

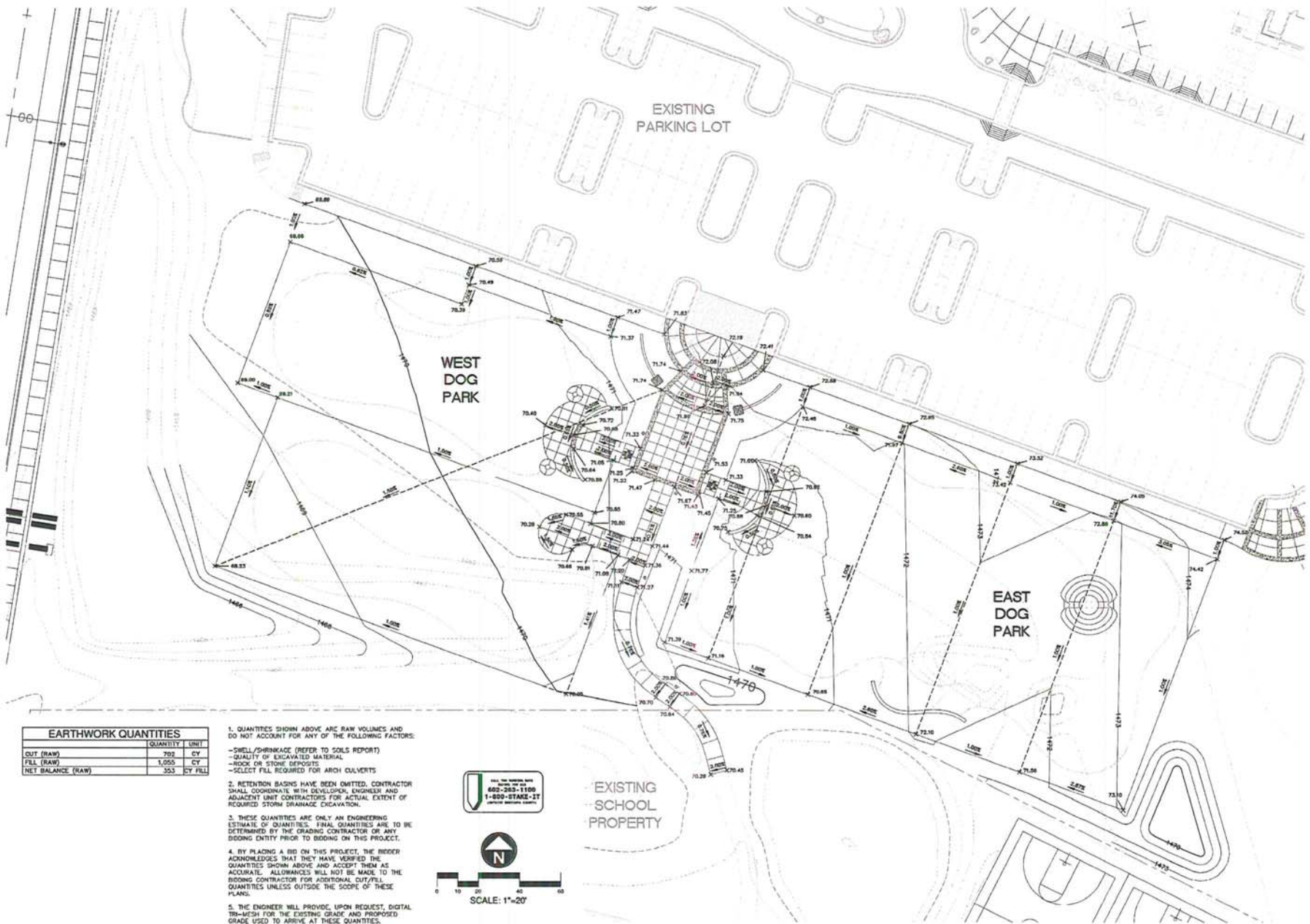
sym.	description
	SATELLITE CONTROLLER
	ELECTRICAL SERVICE
	GATE/ISOLATION VALVE AWWA CAST IRON, RUBBER-RING
	MAIN LINE ISOLATION GATE VALVE, GATE VALVE (2" AND SMALLER)
	NIBCO 1-1/2 BRONZE GATE VALVE W/IRON (H) CROSS HANDLE
	MASTER VALVE
	ELECTRIC CONTROL VALVE
	DRIP VALVE ASSEMBLY
	BRONZE BALL VALVE
	FILTER
	PRESSURE REGULATOR
	VALVE BOX
	PVC MAINLINE (NON-POTABLE)
	PVC MAINLINE (POTABLE)
	PVC SLEEVE
	PVC LATERAL (NON-POTABLE)
	PVC DRIP LATERAL (SHRUB)
	PVC DRIP LATERAL (TREE)
	EMITTER
	DRIP LATERAL FLUSH CAP
	MANUAL DRAIN VALVE
	FLOW SENSOR
	AIR-RELIEF VALVE
	QUICK COUPLER VALVE (POTABLE)
	STATION #
	CONTROLLER #
	VALVE SIZE
	GALLONS PER MINUTE
	VALVE TYPE

SPRAY HEAD SCHEDULE

Symbol	Description	Manufacture	Model #	G.p.m.	Spacing	Nozzle
	SPRAYHEAD	HUNTER	PS30-04-CV-B-A	0.3-3.7	4' to 15'	4A-15A
	SPRAYHEAD	HUNTER	PS30-04-CV-B-F	0.3-3.7	4' to 15'	4A-15A
	MEDIUM ROTOR PART CIRCLE	HUNTER	1-20-04-R	2.0-4.0	34' to 40'	2.0-4.0
	MEDIUM ROTOR FULL CIRCLE	HUNTER	1-20-04-R	2.0-4.0	34' to 40'	2.0-4.0

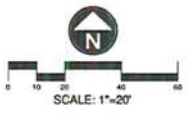


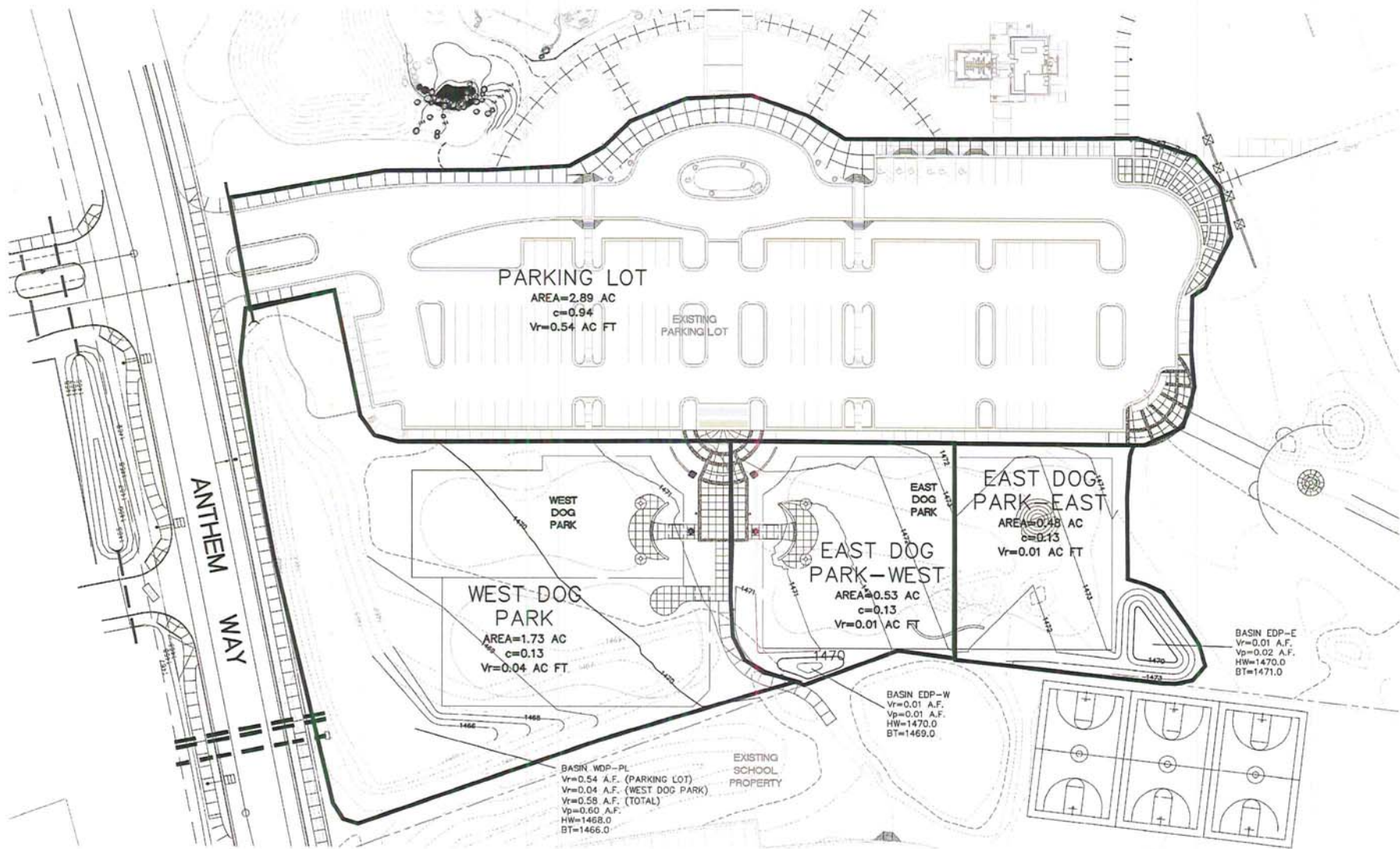
NOTE: THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO USE POTABLE AND NON-POTABLE WATER.



EARTHWORK QUANTITIES	
	QUANTITY (LINI)
CUT (RAW)	792 CY
FILL (RAW)	1,050 CY
NET BALANCE (RAW)	353 CY FILL

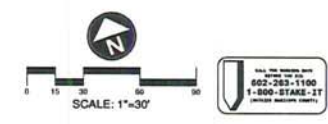
1. QUANTITIES SHOWN ABOVE ARE RAW VOLUMES AND DO NOT ACCOUNT FOR ANY OF THE FOLLOWING FACTORS:
 -SWELL/SHRINKAGE (REFER TO SOILS REPORT)
 -QUALITY OF EXCAVATED MATERIAL
 -ROCK OR STONE DEPOSITS
 -SELECT FILL REQUIRED FOR ARCH CULVERTS
2. RETENTION BASINS HAVE BEEN OMITTED. CONTRACTOR SHALL COORDINATE WITH DEVELOPER, ENGINEER AND ADJACENT UNIT CONTRACTORS FOR ACTUAL EXTENT OF REQUIRED STORM DRAINAGE EXCAVATION.
3. THESE QUANTITIES ARE ONLY AN ENGINEERING ESTIMATE OF QUANTITIES. FINAL QUANTITIES ARE TO BE DETERMINED BY THE GRADING CONTRACTOR OR ANY BIDDING ENTITY PRIOR TO BIDDING ON THIS PROJECT.
4. BY PLACING A BID ON THIS PROJECT, THE BIDDER ACKNOWLEDGES THAT THEY HAVE VERIFIED THE QUANTITIES SHOWN ABOVE AND ACCEPT THEM AS ACCURATE. ALLOWANCES WILL NOT BE MADE TO THE BIDDING CONTRACTOR FOR ADDITIONAL CUT/FILL QUANTITIES UNLESS OUTSIDE THE SCOPE OF THESE PLANS.
5. THE ENGINEER WILL PROVIDE, UPON REQUEST, DIGITAL TRI-MESH FOR THE EXISTING GRADE AND PROPOSED GRADE USED TO ARRIVE AT THESE QUANTITIES.

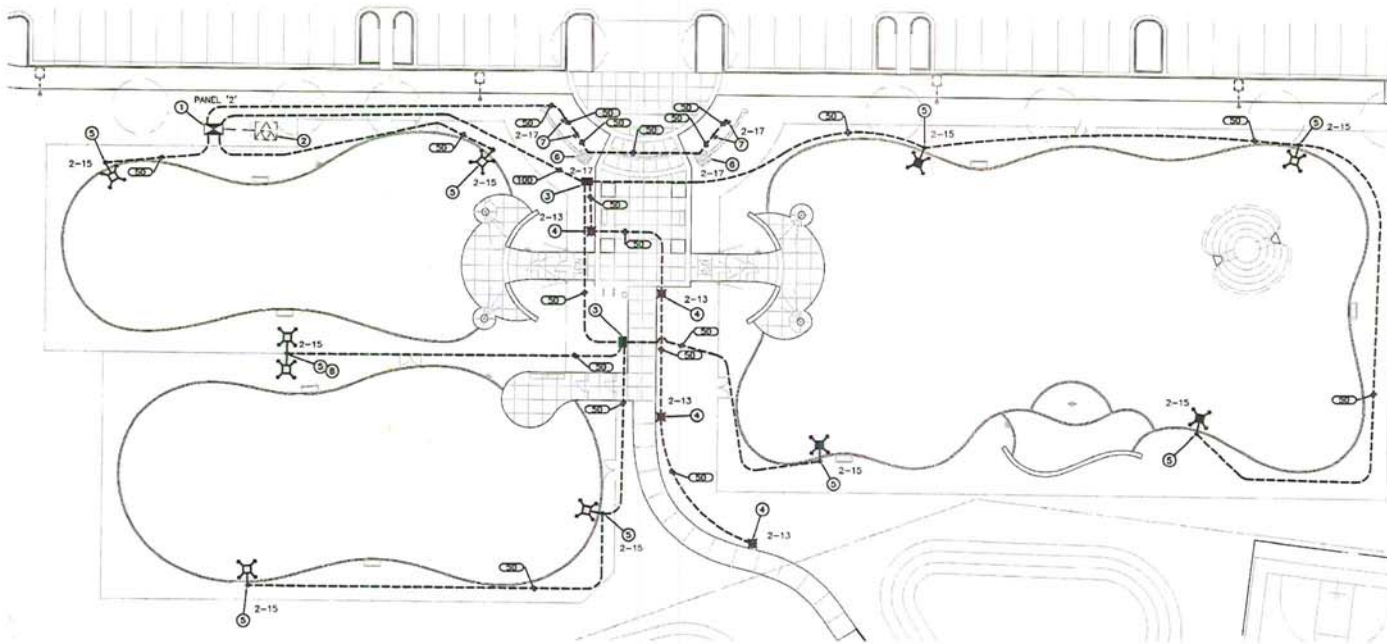




Retention Basin Volume Req'd					
SUB BASIN	C	P(100-yr 2-hr)	Area (sq. ft.)	Area (ac)	V(req)
Parking Lot	0.94	2.39	126,087	2.89	0.54
West Dog Park	0.13	2.39	79,169	1.73	0.04
East Dog Park-West	0.13	2.39	23,263	0.53	0.01
East Dog Park-East	0.13	2.39	21,093	0.48	0.01

Retention Volumes Provided						
Basin	H (ft)	A1 (sq ft)	A2 (sq ft)	V (cu ft)	V (ac-ft)	Accum. V (ac-ft)
Basin WDP-PL	2	8,912	17,139	26,052	0.60	0.60
Basin EDP-W	1	87	482	285	0.01	0.01
Basin EDP-E	1	641	1,143	892	0.02	0.02





CONSTRUCTION NOTES:

- ① EXISTING SERVICE ENTRANCE SECTION TO REMAIN. SEE DETAIL 1 ON SHEET SE3.1. ADD NEW BREAKERS AND LIGHTING CONTACTORS PER DETAILS. UTILIZE EXISTING CONDUITS OUT OF EXISTING ELECTRICAL CABINET. IF EXISTING CONDUITS ARE NOT AVAILABLE, INSTALL NEW CONDUITS INTO CABINET THROUGH CONCRETE SLAB. ABOVE GROUND ENTRY IS NOT ACCEPTABLE. INSTALL (2) SPARE 2" CONDUITS IN CABINET AT TIME OF CONSTRUCTION.
- ② EXISTING ELECTRICAL TRANSFORMER LOCATION, SHOWN FOR CONTRACTOR CONVENIENCE ONLY.
- ③ #3, 1/2" CONCRETE PULL BOX, PER DETAIL 3 ON SHEET SE3.1.
- ④ LED BOLLARD LIGHTING SEE DETAIL 5 ON SHEET SE3.2. BOLLARD SHAFT PROVIDED BY OWNER, BOLLARD LIGHT PROVIDED BY CONTRACTOR.
- ⑤ INSTALL LED FIXTURE AT A 20' MOUNTING HEIGHT PER DETAIL 4 ON SHEET SE3.2.
- ⑥ COLUMN LIGHT, PER DETAIL 7 SHEET SE3.2.
- ⑦ WALL UPLIGHT PER DETAIL 8 ON SHEET SE3.2.
- ⑧ INSTALL TWO LIGHT FIXTURES 180 DEGREE APART ON SHARED POLE.

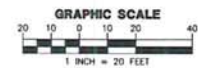
LEGEND

- EXISTING ELECTRICAL SERVICE
- UNDERGROUND CONDUIT
- LED BOLLARD LIGHT
- CONCRETE PULL BOX
- 137W LED AREA LIGHT
- 180W LED AREA LIGHT
- EXISTING AREA LIGHT

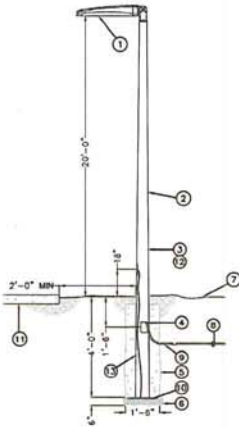
WIRE & CONDUIT TABLE

CONDUIT	WIRE	REMARKS			
NO.	SIZE	POWER	GROUND	TYPE*	(CKT #)
50	1"	2-#12	1-#12	CU	TYPICAL
100	1"	2-#12	1-#10	CU	2-13
		2-#10		CU	2-15

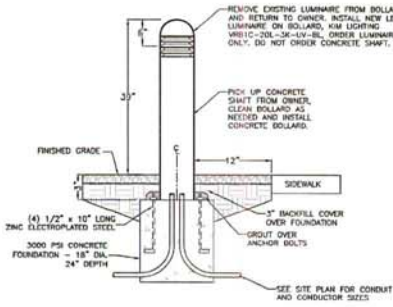
* THIS COLUMN IDENTIFIES THE CONDUCTOR MATERIAL TYPE.
CU = COPPER, AL = ALUMINUM.



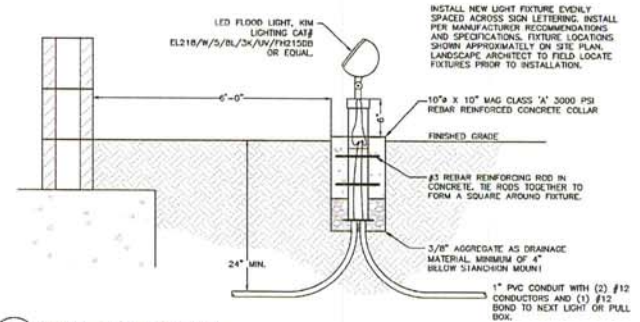
- 1 BEACON LIGHTING W/PER TENON MOUNTED LED LIGHT FIXTURE, WITH 15% PHOTOMETRIC DISTRIBUTION PER PLANS. FIXTURE COLOR TO BE BLACK.
FOR 137W FIXTURE WITH TYPE 5 WIDE DISTRIBUTION USE: CAT# VPL-64ND-135-3K-15W-UNV-60T
FOR 180W FIXTURE WITH TYPE 5 WIDE DISTRIBUTION USE: CAT# VPL-80NB-180-3K-15W-UNV-88T
- 2 DIRECT BURIED, STRAIGHT, STEEL POLE. CONTRACTOR TO ENSURE THAT FIXTURE MOUNTS TIGHTLY AND SECURELY TO POLE. POLE TO HAVE BLACK POWDER COAT FINISH (PROVIDE SAMPLES WITH SUBMITTALS FOR COLOR APPROVAL).
- 3 FLUSH MOUNTED HANDHOLE WITH TAMPERSPROOF SCREWS. POLE MANUFACTURER TO PLACE HANDHOLE SO THAT IT WILL BE LOCATED 18" ABOVE FINISHED GRADE TO CENTER AFTER INSTALLATION. INSTALL POLE WITH HANDHOLE FACING AWAY FROM PATH/SIDEWALK, WHERE POSSIBLE. WHERE POLE IS INSTALLED AGAINST WALL, HANDHOLE TO FACE PATH. PROVIDE A FACTORY INSTALLED GROUND WIRE WHICH IS CONNECTED TO THE HANDHOLE. CONNECT THE ELECTRICAL SYSTEM GROUND WIRE TO THIS POLE GROUND WIRE. FOR TWO POLE CIRCUITS PROVIDE BUSSMAN #HEX FUSE HOLDER FOR INLINE FUSING. FOR SINGLE POLE CIRCUITS PROVIDE BUSSMAN #HEX FUSE HOLDER FOR INLINE FUSING.
- 4 APERTURE IN POLE BASE FOR UNDERGROUND WIRING. PROVIDE TWO (2) EACH POLE AT 180 DEGREES FROM EACH OTHER AND 90 DEGREES FROM HANDHOLE. TAPE OPENINGS PRIOR TO BACKFILLING THE DRILLED HOLE.
- 5 AFTER POLE HAS BEEN ALIGNED AND IS PLUMB, BLOCK POLE IN PLACE UNDERGROUND, BACKFILL HOLE WITH CEMENTIOUS EARTH BACKFILL TO A POINT 4" BELOW FINISHED GRADE. BACKFILL THE REMAINING 4" WITH SURROUNDING SOIL. CEMENTIOUS EARTH BACKFILL - SEE ONE PART DRY CEMENT POWDER TO FIFTEEN PARTS CLEAN, WASHED SAND.
- 6 1" WASHED RIVER ROCK, COMPACT BEFORE SETTING POLE.
- 7 FINISHED GRADE.
- 8 ELECTRICAL BRANCH CIRCUIT. SEE LIGHTING SITE PLAN FOR SIZES, ETC.
- 9 INSTALL PVC SCHEDULE 40 CONDUIT INTO POLE BASE.
- 10 COIL 20' OF #4 SOLID COPPER BOND. RUN BOND THROUGH POLE TO FACTORY INSTALLED GROUND WIRE IN HAND HOLE.
- 11 WHERE LIGHTS ARE INSTALLED NEXT TO PATHWAY OR SIDEWALK, MAINTAIN CLEARANCE FROM EDGE TO FACE OF POLE AS SHOWN IN DETAIL.
- 12 PROVIDE BUSSMAN #HEX FUSE HOLDER, ON EACH UNGROUNDED CONDUCTOR, WITH 5 AMP FUSES FOR INLINE FUSING. WHERE CIRCUIT IS SPLICED IN HANDHOLE, MAKE ALL SPLICES WITH UL-RATED WET LISTED WIRE NUTS, EQUAL TO SPECIFICATIONS. WATERPROOF CONNECTORS. PROVIDE 18" MINIMUM OF SLACK IN THE CONDUCTORS.
- 13 POLE BASE TO BE DIPPED OR COATED INSIDE AND OUT WITH A COAL TAR EPOXY, 6-8 MILS THICK WHEN DRY, TO A POINT 8" ABOVE FINISHED GRADE. PAINT EXPOSED COATING TO MATCH POLE COLOR.



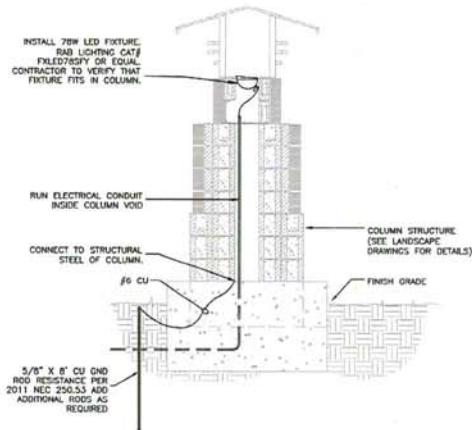
4 AREA LIGHT DETAIL
NO SCALE



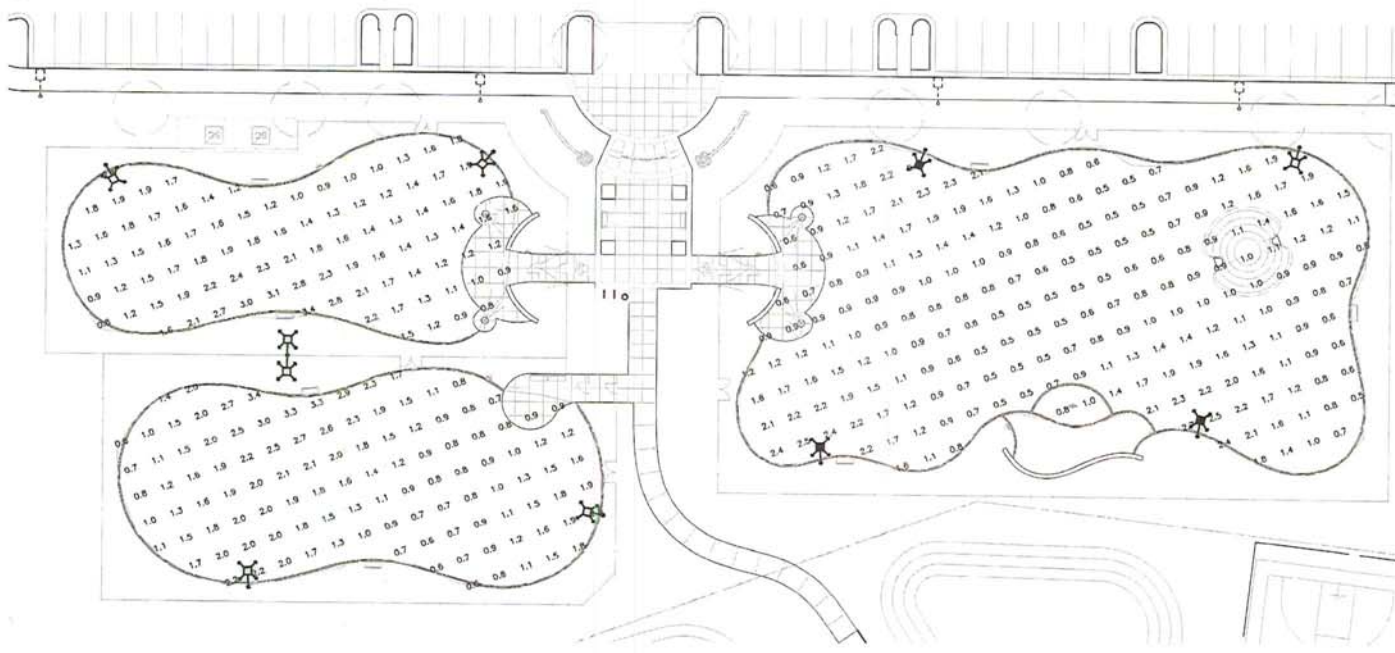
5 BOLLARD LIGHT DETAIL
NO SCALE



6 WALL LIGHT DETAIL
NO SCALE



7 COLUMN LIGHT DETAIL
NO SCALE



PHOTOMETRIC RESULTS

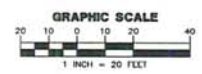
North-West Field
 90 points at z=0, sp 10ft by 10ft
 HORIZONTAL FOOTCANDLES
 Average 1.5
 Maximum 3.4
 Minimum 0.5
 Avg/Min 2.03
 Max/Min 6.25
 Coef. Var 0.32
 UniGrad 1.50

East Field
 215 points at z=0, sp 10ft by 10ft
 HORIZONTAL FOOTCANDLES
 Average 1.2
 Maximum 2.7
 Minimum 0.5
 Avg/Min 2.30
 Max/Min 5.40
 Coef. Var 0.47
 UniGrad 1.60

South-West Field
 111 points at z=0, sp 10ft by 10ft
 HORIZONTAL FOOTCANDLES
 Average 1.6
 Maximum 3.4
 Minimum 0.6
 Avg/Min 2.52
 Max/Min 5.67
 Coef. Var 0.44
 UniGrad 1.67

LEGEND

- 
 BEACON PRODUCTS VP-L-64NB-136-3K-T5W
 HLJ 1 RM 1166 test report no. 15.01501
 Lumens C-70-CRI
 ES TYPE V
 canopy (in VP-L-64NB-136-3K-T5W)es
 1 lumens per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 137
 mounting height = 20 ft
 number locations = 7, number luminaires = 7
 kw all locations = 1.0
- 
 BEACON PRODUCTS VP-L-80NB-180-3K-T5W
 HLJ 1 RM 1166 test report no. 15.01501
 Lumens C-70-CRI
 ES TYPE V
 canopy (in VP-L-80NB-180-3K-T5W)es
 1 lumens per luminaire, photometry is absolute
 Light Loss Factor = 0.910, watts per luminaire = 180
 mounting height = 20 ft
 number locations = 3, number luminaires = 3
 kw all locations = 0.5



Project Narrative

A proposed 98,000 S.F. dog park facility, located within the existing Anthem community park, bordered South by the existing Anthem elementary school. An existing parking lot (along North side) shall provide public access.

Site improvements primarily include open metal perimeter fencing with gates, benches, trash receptacles, pet waste facilities, regulatory signs, and potable water fountains for dogs.

The dog park is split into three open space sections, each with individual fences and gates. A 230' x 130' area for large breed, 180' x 80' area for small breeds, and a spare 200' x 100' area to be used as alternate (during times of park maintenance).

The proposed landscape shall contain a high density of perimeter trees to shade both pedestrians and canines. Flowering shrubs, accents, and groundcovers shall be included that compliment the existing site character of park and school.

DOG PARK SITE PLAN

anthem.

BY DEL WEBB
AT MERRILL RANCH

ANTHEM WAY

EXISTING PARKING

180 x 80
DOG PARK (SMALL)

230 x 130
DOG PARK (LARGE)

200 x 100
DOG PARK (ALTERNATE)

RETENTION

RETENTION

RETENTION

EXISTING BASKETBALL

RETENTION

EXISTING SCHOOL

DESIGN ELEMENTS

- 1 ENTRY PLAZA & SIGNAGE W/ SHADE TREES
- 2 COMMON AREA HARDSCAPE AREA W/ SHADE SAILS AND PICNIC TABLES
- 3 PEDESTRIAN CONNECTION TO ADJACENT SCHOOL
- 4 INTERNAL SEATING NODE (TO EACH DOG PARK) W/ SEAT WALL, DRINKING DOG BOWL, & SHADE SAILS. EACH DOG AREA SEPARATELY FENCED.
- 5 200 x 100 DOG PARK TO BE USED AS A SPARE FIELD DURING PERIODS OF MAINTENANCE.
- 6 'KING OF THE HILL' DOG PLAY FEATURE HILL W/ CULVERT THRU BOTTOM



Trash Receptacle

Qty	1
Description	30 gallon side open - grass pattern
Model	Lakeside
Color	Buttercup
Manufacturer	Landscapeforms
Remarks	Surface Mt. per Manuf. Specs



Omega Fence

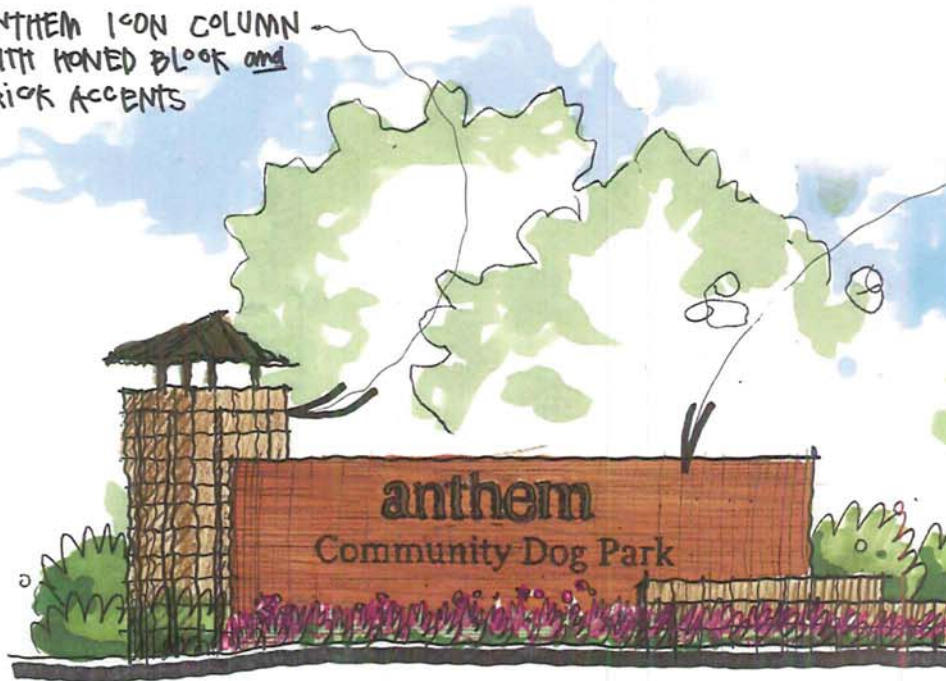
Qty	-
Description	Std. 3 x 3 Posts w/ sq. cap/ Std. 5' Height
Model	Omega Architectural
Color	Std. Black
Manufacturer	Omega Fence Systems
Remarks	See Detail A,5



Pet Waste Facility

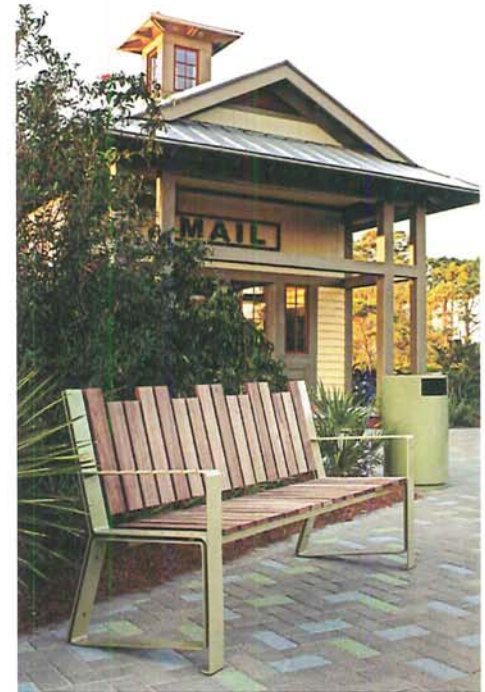
Qty	5
Description	Pole Mounted w/ Trash Receptacle
Model	Modern Kit
Color	Green
Manufacturer	PetPickups.com
Remarks	See Detail B,5

ANTHEM I-SON COLUMN
WITH HONED BLOCK and
BRICK ACCENTS

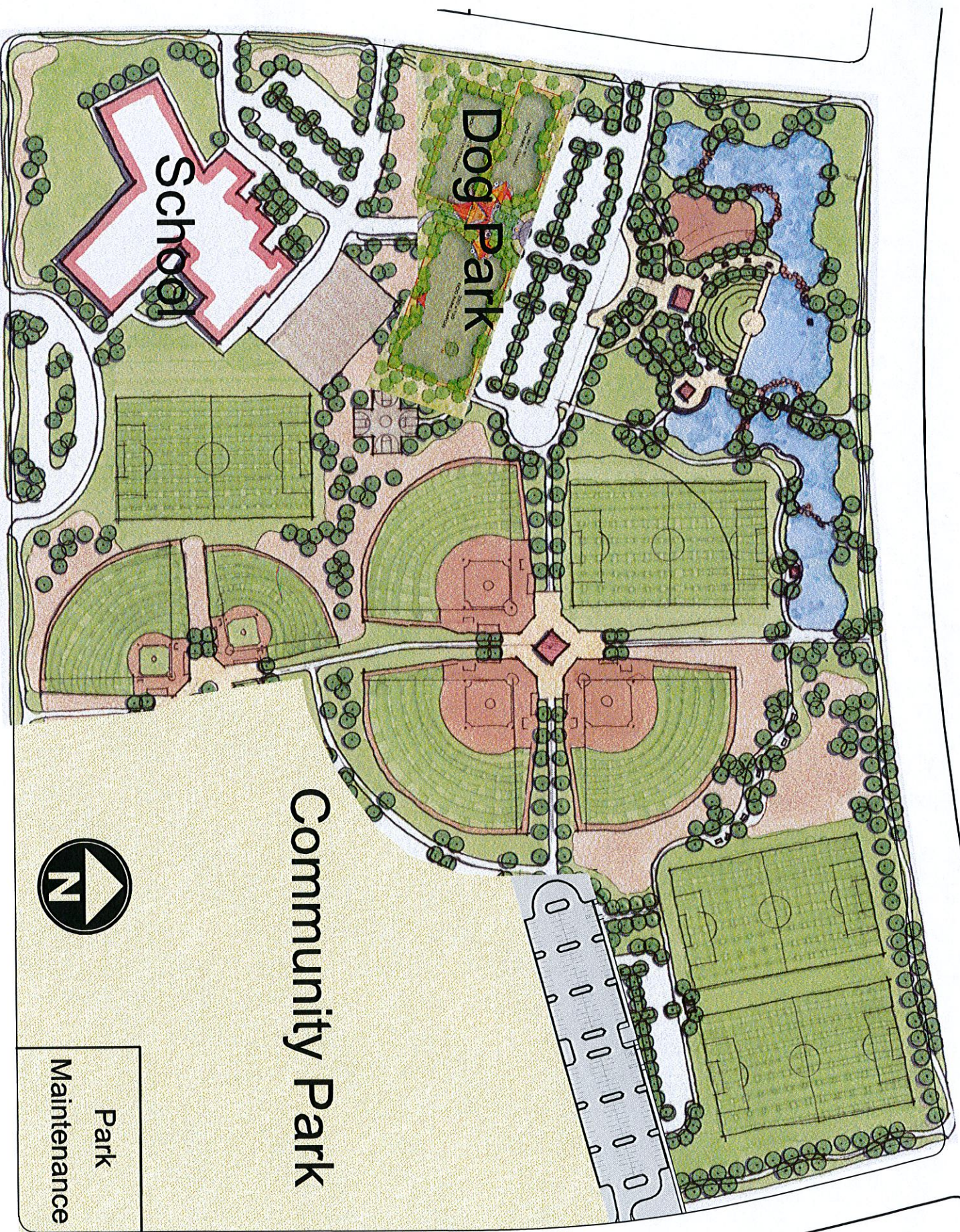


CLAY BRICK SIGNWALL
TO MATCH RECREATION
CENTER

Entry Sign Wall
See Design Review Packet



Park Bench
See Design Review Packet



School

Dog Park

Community Park



Park
Maintenance



Community Development Department Staff Report

December 15, 2016
Agenda Item (5D)

Project Name: Pulte Homes Design Review for New Housing Plans
PZ-16-70 DR

Prepared By: Will Randolph, Town Planner

Reviewed By: Mark Eckhoff, AICP, Community Development Director

REQUEST:

A Design Review application by Pulte Homes for two new home plans and minor modifications to eight existing home plans proposed within the Sun City area of the Anthem at Merrill Ranch community in Florence, Arizona.

RECOMMENDED MOTION:

Move to approve the Design Review application (PZ-16-70 DR) for Pulte Homes, subject to any additional conditions recommended by the Planning and Zoning Commission.

BACKGROUND/ANALYSIS:

Pulte Homes has submitted a new product book for the Commission's review in conjunction with their proposed re-grand opening of the model home complex at the Sun City portion of the Anthem at Merrill Ranch community. Two entirely new and eight updated plans have been designed as a result of extensive consumer research.

The new plans for Sun City will showcase the latest floor plan designs and demonstrate new energy efficient and technological features. New elevations will be introduced into the community that complement existing homes, while also bringing exciting changes to housing product offered for the community. Pulte Homes is excited to introduce new optional exterior fireplaces and optional windows at the kitchen on their updated plans. The overall intent of adding and updating their housing product is to react to changing consumer preferences and advancements in design and construction.

The two new housing plans and eight existing updated housing plans presented in the Design Review book are consistent with the past offerings in this community. Pulte Homes will continue to implement these basic guidelines to the extent applicable for each plan:

- Multiple elevation themes are utilized for each housing plan to enhance the diversity of the elevations offered.
- The same plan elevation will not be allowed to be built next to or across the street from each other.
- No side elevations that have less than two windows will be allowed to face the street on a corner lot.
- Window pop out details will be built on all four sides of all homes.
- Contrasting paint colors on all window pop out details on all front, side and rear elevations.
- Four sided paint colors will be used per the already approved color palette schedule from the existing series.
- Window mullion patterns that varies per elevation style on all front elevations.
- Standard covered rear patios will be built on all homes. Patio columns will be stucco clad.
- Standard garage coach light over the address plate and standard coach light/s at the entry to match existing series.
- Stucco recesses, color blocking, and multiple roof tiles where appropriate.

The Design Review book also addresses the front yard landscaping offered by Pulte Homes. The landscape plans for each home features a relatively arid desert palette coordinated for compatibility with the approved plant palette for Anthem at Merrill Ranch. Materials, designs and plant selections have been designed for compatibility with the architectural theme established for Anthem at Merrill Ranch.

A Home Owners' Association (HOA) has been established for the maintenance, landscaping, improvements and preservation of all common areas and open space areas and landscaping within the Right-of-Way.

PUBLIC PARTICIPATION:

Under Arizona Revised Statutes, Title 9, Section-462.04 and per the Town of Florence Development Code, a public hearing is not required for the Design Review process.

STAFF RECOMMENDATION:

Staff finds this application is in compliance of applicable Town codes and in keeping with the character established for this area. Therefore, staff hereby recommends approval of the Design Review application for PZ-16-70 DR, subject to the following conditions:

1. Construction of the projects shall conform to the exhibits presented on December 15, 2016, as may be amended by the conditions of approval.
2. Project to comply with all applicable Town Codes, including all applicable planning, building, fire and engineering requirements.
3. Any additional conditions deemed necessary by the Planning and Zoning Commission.

Attachments:

Application Materials
Housing Book

APPLICATION FOR DESIGN REVIEW

PROJECT NAME: Sun City Anthem

APPLICATION TYPE: Minor (< 5 acres) Major (>5 acres)
 Signage

1. Property Owner: Name: Polte homes
Address: 16767 North Perimeter DR Suite 100
Scottsdale, AZ 85062
Phone: 480-391-6135 Fax: _____
Email: Dustin.Mayer@Polte.com

2. Applicant/Developer: Name: Same
Address: _____
Phone: _____ Fax: _____
Email: _____

3. Address or Location of Property: Hunt Highway and Merrill Ranch Parkway

Tax Parcel Numbers: _____

Gross Acres: _____ Net Acres: _____ Current Zoning District: PUD R-1

4. Describe project in detail: All active adult Lots 53'x115' & 65'x115'
Adding 2 New PLANS to lineup. Also Included Existing PLANS
For Reference. Added New exterior Fireplace & optional windows at kitchen.



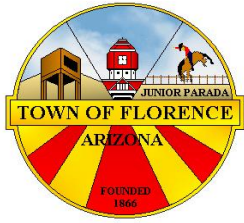
SIGNATURE OF PROPERTY OWNER or REPRESENTATIVE

11/20/16

DATE

FOR STAFF USE ONLY:

CASE NO. _____	APPLICATION DATE AND TIME _____
PERMIT NO. _____	FEE \$ _____
PZ HEARING DATE _____	REVIEWED BY: _____
RECOMMENDATION: APPROVAL	DISAPPROVAL



TOWN OF FLORENCE

Community Development Department

The Town of Florence will successfully capitalize on its favorable location, rich historical past, diverse neighborhoods, family-friendly parks and natural Sonoran desert setting to create a community and economic environment that is truly sustainable, desirable and respected. Florence will carefully blend the old with the new to strive to maintain its position as the heart and core of Pinal County (Town of Florence 2020 General Plan).

MEMO

To: Planning and Zoning Commission (PZC)
From: Mark Eckhoff, AICP, CFM
Community Development Director
Date: December 15, 2016 PZC Meeting
Re: Activity Report

Ongoing projects and updates:

- The attached permit spreadsheet shows that the Town issued 15 single-family home permits for November of 2016 (please note that this report is written before the final November permit numbers were tallied).
- Now that the Infill and Design Review cases for the proposed downtown Circle K store have been approved, staff is awaiting the submittal of a Development Agreement application and construction plans for this project. Circle K advises us that they are working on these items.
- The Development Agreement process for the proposed Medical Office Building downtown is going well. The applicants have also received comments on their first submittal of construction and engineering plans.
- Much work continues on the Town's Strategic Plan project. A Strategic Plan work session with the Town Council and the Citizen's Advisory Group (CAG) is anticipated for December 29th. The CAG will meet several times before this work session to finalize the comments from this group. A Strategic Planning Retreat is being proposed for a future date in early 2017. We are still looking to complete the final plan by March 2017 as originally proposed.
- Staff continues to have discussions with Southwest Value Partners (SWVP) about potential land swaps, plats, purchases, etc.

- The owners of a historic home on Bailey Street submitted a Design Review application that contemplates the rehabilitation of this structure that has not been occupied for several years. This application was approved by the HDAC and construction should commence soon.
- The proposed Anthem at Merrill Ranch Subway store should open soon.
- Staff continues to respond to inquiries regarding the purchase of land within the Anthem or Anthem at Merrill Ranch communities. This is an ongoing item. In general, staff believes that multiple parties are conducting their due diligence before going forward with possible land acquisitions.
- Staff continues to wait for new submittals from the engineering consultant working on the revised Mesquite Trails plats before being able to act on this item.
- Multiple subdivision plats for Anthem are now under review. Pulte is also seeking approval of a dog park for Anthem and new housing plans for the Sun City side of their community.
- A request to extend the Preliminary Plat approval for a phase of the Walker Butte development has been made. Staff had a productive meeting with the applicants regarding changes that were warranted on this Plat. The Plat should be presented to the Planning and Zoning Commission in the very near future.
- Staff is working with Parks and Recreation staff on planning for the 2017 Historic Home Tour. This is an ongoing item.
- The new lighted Town directional signage at the northwest corner of State Highway 79 and Main Street was installed. Staff has heard many favorable comments about this sign.
- Sunbelt Holdings has reported that they have hired planners and engineers to update their plans for their proposed project along Arizona Farms Road. An update the Development Agreement will likely be proposed as well.
- Florence Artisan Acres, LLC, the owners of the Territory Square expansion area are working on their application for a Development Agreement with their legal representative. The ownership group advises staff that we should be seeing this application soon. The Design Review application for the first phase of this project was recently submitted and is now under review.
- As of this writing, it appears that there are no purchasers for the historic home on Ruggles Street that lost its roof during a storm. Though the Town ended up being unable to prevent the issuance of the demolition permit, the owners have yet to proceed with the demolition request that they initiated. That said, staff is aware that various parties are currently showing some interest in saving this building.

- Staff continues to look forward to working with the new owners of the downtown hospital on their probable re-use plans.
- The Pinal County Superior Court building expansion construction project is well underway.
- The Sunpower solar farm project east of Florence is making great progress. The plant should go fully operational before the end of this quarter or in the first quarter of 2017.
- Our first SRP Aesthetics Fund Project (Abel Sub-station wall) has been completed. We are now collecting funds in this account for a future project.
- The building permit for the Cuen building restoration was issued on November 13, 2015 and extended in November of 2016. Though the owner made some progress on some structural and cosmetic issues on this building, the building remains far from complete and is not yet ready for occupancy. The owner has visited our Department a couple of times recently to report that he plans on getting more work done on this building in the near future.
- Staff is keeping in touch with ADOT on the North-South Corridor and Passenger Rail projects. A long-awaited agency meeting was held recently to provide agencies with a project update. ADOT is committed to completing a draft Tier One Environmental Impact Study on the project and presenting a 1,500 foot wide corridor for public review in 2017. Staff continues to advocate our preferences for both corridors in our land planning activities.
- Unfortunately, there is no activity to report on the Mosaic Church project in the Anthem at Merrill Ranch community.
- Staff completed a draft updated Town's Sign Code along with the assistance of a project committee. The draft code was presented at Planning and Zoning and Historic District Advisory Commission meetings, as well as a Florence Chamber of Commerce forum. The document has been very favorably received thus far. Additional outreach, discussions and a formal adoption process are pending the review and direction of the Town Attorney. At this time, it may be the preference of the Town Attorney to defer this project a little more while we wait for other cities to approve their sign code updates. This direction was reinforced by the Goldwater Institute's recent decision to challenge the City of Chandler's Sign Code.
- While some annexation inquiries have been made over the past month, no applications have been made as of this report.
- There have not been any meetings of the Superstition Vistas committee meeting since February 2016.

- Staff attended a kick off meeting with Pinal County regarding their proposed planning project for the San Tan Valley area.
- As is expected during this time of year, we have received permits for new dwelling units in Florence Gardens and Caliente.
- Staff is working with the State Parks Department on some possible site improvements at McFarland state Park.
- Our Department is now without the Senior Planner, Building Inspector and Administrative Assistant positions. Two of these positions are under a current recruitment. Staff is working hard to ensure that our service and productivity standards remain high.
- GIS specific updates are as follows:
 - Began expanding easement data layer by identifying all missing easement information per township, range, and section.
 - Reviewed master street map for Anthem and developed unit maps for future units to clarify street names.
 - Continued supporting Community Development for Circle K site with maps for council and notifications.
 - Continued supporting Community Development for Healthcare Facility site with maps for council and notifications.
 - Developed map to support Public Works in their planning of future CIP projects.
 - Performed monthly county data update and SmartGov update.
 - Created map for usage in IGA needed for new water line.
 - Conducted analysis and mapped out results to aid in planning of new fire stations.
 - Continued work on Final Plat layer for usage in inquiries for easements.
 - Began work on three new GIS layers for Public Works; Pavement Layer, Street Striping Layer, Street Lane Layer.
 - Made changes to the safe routes to school grant map.
 - Provided information for several address and parcel inquires.

TOWN OF FLORENCE Building Permits for 2005 Thru 2016

Month	SFR 2005	SFR 2006	SFR 2007	SFR 2008	SFR 2009	SFR 2010	SFR 2011	SFR 2012	SFR 2013	SFR 2014	SFR 2015	SFR 2016	M/F 2005 thru 2015	M/F 2016	M/H 2005	M/H 2006	M/H 2007	M/H 2008	M/H 2009	M/H 2010	M/H 2011	M/H 2012	M/H 2013	M/H 2014	M/H 2015	M/H 2016	C/I 2005	C/I 2006	C/I 2007	C/I 2008	C/I 2009	C/I 2010	C/I 2011	C/I 2012	C/I 2013	C/I 2014
Jan.	1	6	29	51	1	20	4	7	20	16	10	22	0	0	1	3	4	3	1	2	1	1	0	1	1	1	0	0	1	5	0	0	1	0	0	0
Feb.	3	53	27	46	0	23	5	7	10	8	4	19	0	0	0	4	5	3	2	3	0	2	0	0	0	0	0	1	2	2	3	3	0	2	0	2
Mar.	13	51	58	48	3	29	5	8	20	14	21	15	0	0	3	6	6	4	2	1	2	0	2	1	0	0	0	4	3	3	5	1	2	1	1	4
April	2	38	36	50	23	17	26	4	27	11	24	7	0	0	2	9	5	1	0	1	4	0	0	2	2	1	0	1	2	7	1	4	3	2	3	3
May	1	50	53	53	33	24	16	20	14	15	18	18	0	0	3	13	1	0	1	1	1	1	1	0	2	1	0	3	3	9	1	0	2	1	1	3
June	5	90	52	52	28	23	11	22	15	8	16	22	0	0	4	4	2	0	2	2	1	0	0	0	0	0	0	2	2	1	2	1	4	0	6	2
July	3	32	54	57	35	15	5	12	11	20	24	13	0	0	2	5	1	0	0	1	0	0	0	1	0	0	0	2	3	2	1	0	6	6	1	6
Aug.	0	19	32	38	16	6	13	12	19	9	12	12	0	0	1	1	3	0	0	0	1	0	0	0	1	0	0	0	0	9	3	1	1	1	4	4
Sept.	35	6	1	31	10	6	7	14	8	12	11	15	0	0	2	2	1	0	1	0	0	0	0	0	2	1	1	1	3	2	1	0	6	0	1	8
Oct.	2	16	21	23	11	5	7	12	14	13	10	13	0	0	4	6	2	2	0	0	0	2	2	0	0	0	5	4	2	2	2	1	1	0	4	4
Nov.	2	20	17	18	24	5	8	8	11	7	16	15	0	0	4	2	2	1	0	3	1	0	0	1	0	1	9	1	3	4	2	0	0	1	1	6
Dec.	33	26	31	0	17	0	5	12	13	11	10		0	0	2	7	4	1	3	0	1	0	1	0	0		2	2	1	1	1	2	2	0	0	10
Total	100	407	411	467	201	173	112	138	182	144	176	171	0	0	28	62	36	15	12	14	12	6	6	6	8	5	17	21	25	47	22	13	28	14	22	52

1. SFR = New Single Family Residential Homes

2. M/F = New Multi-Family Residential (duplexes, triplexes, apartments, etc.)

3. M/H - Manufactured Homes, Mobile Homes and Park Models

4. C/I = Commercial/Industrial New/Tenant Improvements

5. Other = Pools, Sheds, Fences, Signs, etc.

C/I 2015	C/I 2016	Other 2005	Other 2006	Other 2007	Other 2008	Other 2009	Other 2010	Other 2011	Other 2012	Other 2013	Other 2014
1	2	30	13	28	23	42	33	32	32	35	61
4	5	21	3	27	28	22	33	22	30	27	50
0	2	16	20	32	29	44	12	34	30	48	35
4	7	12	10	16	30	48	29	32	20	38	45
3	1	12	10	26	14	14	28	31	33	41	24
6	2	19	12	21	33	27	33	23	35	19	26
3	3	9	16	22	36	26	14	17	24	24	18
1	0	5	10	28	27	28	15	19	23	39	14
3	2	11	16	9	38	23	20	17	18	28	35
3	1	17	16	30	56	21	20	18	40	56	28
3	4	19	35	16	30	33	37	41	33	41	33
2		57	27	18	20	25	23	31	42	34	29
33	29	228	188	273	364	353	297	317	360	430	398